OFFICE SPECIFICATIONS FOR DRAWINGS BIDDING REQUIREMENTS, CONTRACT FORMS AND CONDITIONS OF THE CONTRACT

00100 INSTRUCTIONS TO BIDDERS:
Each bidder shall visit the site of the proposed work and fully acquaint himself with the conditions as they exist in order that the restrictions attending the work are understood. All areas and dimensions are indicated on the drawings as accurately as possible, but all conditions shall be verified by each Contractor and/or Subcontractor at the site. The failure of any bidder to examine or receive any form, instrument, or document or to visit the site shall not relieve the bidder from any obligation with respect to his bid. The submission of a bid shall acknowledge that the Contractor and his condition and his provisions for operating under the conditions as they exist at the site and has include all necessary items.

00200 PROJECT DATA:
Use Group: R-5
Construction Classification: 5B

Structural Data: Loads indicated are in pounds per square foot and were used to design structural members.

First Floor/Live Load: 40	Second Floor/Live Load: 30
Dead Load: 20	Dead Load: 20
Total Load: 60	Total Load: 50
Attic Floor/Live Load: 20	Roof Load/Snow Load: 30
Dead Load: 10	Dead Load: 20
Total Load: 30	Total Load: 50

Soil Bearing Capacity: 3,000 p.s.f. Design Load

00801 CONSIDERATION OF BIDS
The Owner reserves the right to reject any or all bids received and to award the contract without respect to the bid price.

SPECIFICATION SECTIONS

DIVISION 1 - GENERAL REQUIREMENTS
01010 SUMMARY OF WORK:
The work shall include the construction of one single family dwelling.

01011 DIMENSIONS:
Contractor shall field verify all dimensions prior to the beginning of construction.

01012 WORK BY OTHERS:
The Owner may have work performed under separate contracts, concurrently, with the work of this contract, i.e.: swimming pools, fences, landscaping, etc.

01018 OWNER FURNISHED ITEMS:
The following items will be supplied by the Owner shall be installed by the contractor. Electrical fixtures, ceiling fans, appliances. Installation shall include providing the necessary wiring, piping, fasteners, supports, etc.

01060 REGULATORY REQUIREMENTS:
These contract documents were prepared in accordance with the International Building Code. The Contactor shall conform to this and other applicable local, county, state and federal codes, law and requirements.

01063 PERMIT FEES:
The Contractor shall apply and pay for construction permit, certificate of occupancy and all other required permits or licenses. Contactor is responsible for obtaining all inspections pursuant to the International Building Code.

01090 DEFINITIONS AND STANDARDS:
The term "provide" means furnish and install, complete and ready for intended use as applicable in each instance. The term "Architect" shall mean Brian Berzinskis, Architect.

01500 TEMPORARY FACILTIES:
Temporary water, power and sanitary facilities shall be made available on the site and use shall be coordinated with the Owner.

01700 PROJECT CLOSEOUT:
Remove all debris from site, clean windows, floors and other exposed surfaces and remove labels. "Clean" is defined to mean that which is expected for a first class building cleaning and maintenance program. Provide Owner with Certificate of Occupancy and general operating/maintenance instruction for all installed equipment.

01740 WARRANTIES AND BONDS:
The Contractor shall guarantee all labor and materials used in the project for a period of one year commencing from the date of issuance of Certificate of Substantial Completion or the Owner's final payment for construction. Any deficiencies that become evident during this one year period shall be corrected at the Contractor's expense.
HOME OWNER WARRANTY: At the time of closing, the Contractor shall provide the Owner anew home warranty and applicable documents in accordance with the International Building Code.

DIVISION 2 - SITEWORK
SITE CLEARING:
Provide temporary fences, barricades and other projections to preserve existing items to remain and prevent injury to vegetation and improvements as indicated or which interfere with new construction. Restore disturbed areas to condition prior to commencing construction and to match adjacent areas where indicated; including new topsoil, sodding, seeding, etc.

02110 SITE CLEARING:
Strip and stockpile topsoil for late distribution when fine grading is done. Spread soil, hand grade and seed lawn. Excess materials shall be distributed in such a way so as to provide smooth transition to undisturbed grade. Slope grades as indicated on drawings.

FROST AND SLOPE PROTECTION:
Bottom of exterior footing shall be minimum of 3'0" below finished grade for frost protection. Maximum slope between the bottom of adjacent footings shall be one vertical to two horizontal.

02050 SHORING AND BRACING:
Contractor shall fully brace and otherwise proteet all work in progress until building is completed. Provide all necessary guying work and bracing to erect and hold the building frame in alignment until all walls, floors and roof deck are installed.

0200 EARTHWORK:
Excavate as required to install footings and to maintain finished floor elevation. Backfill with clean soil, free grade away from building. Compact soil in areas to receive concrete floors or slab to 95%.

02282 TERMITE CONTROL:
Engage a professional pest control operator. Treat soil with an approved chemical and provide a five year warranty.

02514 PORTLAND CEMENT CONCRETE PAVING:
Concrete sidewalks, ramps and slabs to be minimum 3,000 psi. Concrete curbing to be minimum 4,000 psi. Provide weld wire mesh (ASTM A-185) in all walks, ramps and slabs. Provide expansion joists at intervals not to exceed 300".

DIVISION 3 - CONCRETE
03310 CONCRETE WORK:
Provide reinforcing bars conforming to ASTM A-615. Grade 60(new billet steel) and welded wire mesh conforming to ASTM A-185 of sizes indicated on drawings. Bars marked continuous shall be lapped 40 times the bar diameter at splices and corners and hooked at non-continuous bottom bar at supports. Provide supports for reinforcement, including chairs, bolsters, spacers, etc. as required or indicated on drawings.

CAST-IN PLACE CONCRETE:
All footing and slabs shall be minimum 3,500 psi or as indicated on drawings. Cement content shall be minimum of 5.75 bags per cubic yard. Trowel finish all exposed to view surfaces to be covered with resilient flooring or carpet. Concrete exposed to weather shall be air entrained. Slump shall be four inches. All work, mising and testing shall be in accordance with ACI Code 318-77. Placement of concrete in cold weather shall conform to ACI 306-72 and placement of concrete in hot weather shall conform to ACI 305-77. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or towards the main vehicle entry doorway.

07900 JOINT SEALERS:
Elastometric sealant shall be 1-component silicone or 1-component polyurethane sealant conforming to FSIT-S00230 Class A. Provide closed cell sealant backer rod. Submit product data. Provide foam-in-place fire-stop sealant as manufactured by Insta Foam Products Inc. as approved equal.

DIVISION 4 - MASONRY
04200 UNIT MASONRY:
Provide face brick conforming to ASTM C 27216, Grade SW, Type FBS. Grade MW may be substituted for interior use and for exterior use where not in contact with earth. Color and texture as selected by Owner. Mortar for brick masonry shall conform to ASTM C 270, Type M or S: mortar color as selected by owner. Provide 22 gauge galvanized corrugated steel anchors for attachment to wood substrates, spacing not to exceed 12" on center vertically or 32" on center horizontally.

CONTINUOUS DAMPROOFING:
On all exterior above and below grade unit masonry surface provide and install a two coat cementitious plaster finish, Finished surface shall be a trowel finish, total thickness of ¾", color as selected by owner. Install cove at intersection of foundation wall footing.

DIVISION 5 --METALS
05000 METALS:
Contractor shall provide all necessary labor, materials and equipment to erect all miscellaneous iron and steel as detailed or noted on these drawings. All structural steel shall be detailed and fabricated in accordance with the latest edition of the AISC Manual of Steel Construction. Use standard framed beams unless otherwise noted. Structural steel shall conform to ASTM A-36 and ASTM A-572 except pipe columns, which shall conform to ASTM A-53. Metal j mold trim, beam caps and foundation caps to be 22 gauge galvanized metal by local craftsmen. Carpenter's iron work consists of bolts, plates, anchors, hangers, columns, dowels, etc. required for framing. Anchor bolts shall be ½" diameter galvanized at 6'0" on center maximum. Minimum tow two per sill. Conform to ASTM A-307

DIVISION 6 - CARPENTRY
Contractor shall provide all labor, materials and equipment to frame up, sheath and trim out building as shown or specified in these documents.

Framing lumber shall be kiln-dried Douglas Fir 75/25 Construction Std. Fb=825 PSI Fv=95 psi E=1,600,000 PSI TJI joists, parallams and microllams shall be manufactured by Weyerhaeuser Trus Joist. Exterior wolmanized framing lumber shall be Southern Pine #2 or better. All framing connections to be 'SIMPSON STRONG-TIE' or equal. All wood resting on masonry or concrete shall be pressure treated.

Headers (unless otherwise noted):
3 foot span (3) 2 x 8 or (2) 2 x 8
4 foot span (3) 2 x 10 or (2) 2 x 12
6 foot span (3) 2 x 12 or 3-1/2" x 9-1/4" PSL
Provide solid bridging under all parallel partitions. Double joists under all parallel partitions.

Materials:
Underlayment: APA Sub-Floor 3/4" T&G Plywood Glued & Nailed
Roof: 5/8" CDX 32/16 Plywood
Wall: 1/2" CDX 32/16 Plywood
Soffits: Perforated Vinyl Soffit or Vented Bead Board
Exterior Siding: As noted or scheduled on documents. Nailing to be done in accordance to the International Building Code.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION
07175 WATER REPELLANT:
Provide solvent-based silicone sealer to all exposed masonry. Provide 3.0% concentration of polymerized silicone resins in solvent as recommended by the manufacturer for specific substrates of project.

VAPOR BARRIER:
Provide 4mil carbonated polltethylene film rated at 0.1 perms.

BUILDING INSULATION:
Provide mineral fiber blanket insulation with 1.0 lb. Density, D=0.27 thickness/R-Value as indicated on drawings conforming to FSHH-1-5211.

07311 ROOFING SHINGLES:
Provide min. 325lb Class A U.L. wind resistant asphalt fiberglass shingles complying with ASTM D-3018.

07600 FLASHING AND SHEET METAL:
Provide aluminum sheet 0.032" thick C22A41 clear anodized finish or copper sheet 0.0216" thick ASTM B370 temper H00 (cold-rolled) except where temper 060 is required for forming.

GUTTERS AND DOWNSPOUTS:
Provide aluminum sheet (0.032" thick) fabricated to the sizes down on the drawing. Provide concrete splash blocks at all leaders. Color as selected by owner.

DIVISION 8 - DOORS AND WINDOWS
08100 FLUSH WOOD DOORS:
Doors and hardware as selected by owner. Any glass components of doors and adjacent side windows are to be tempered safety glass. Garage door entering to living area to be 1-¾" thick solid core L label. Where indicated on drawings provide doors with the appropriate U.L. fire resistant rating. Openings from a private garage and residence shall be equipped with solid wood doors not less than 1-3/8 inches in thickness, solid or honeycomb core steel doors not less than 1-3/8 inches thick, or 20-minute fire-rated doors. Submit product data to Owner for approval.

08200 EXTERIOR WOOD DOORS:
Exterior wood doors shall be 1 ¾" solid fiberglass core pre-hung thermal doors. Glasslites shall be ½" tempered insulated glass.

08610 WOOD WINDOWS:
Provide PVC clad wood windows of sizes and types indicated on drawings and as manufactured by Andersen. Windows shall be pre-glazed with clear insulating glass. Provide insect screens for all operating sash. Provide corrosion resistant hardware on all windows. Install complete with grilles.

SPECIAL WINDOWS:
Windows in sleeping rooms comply with the means of egress requirements of the International Building Code. Refer to drawings for specific locations and sizes.

08800 GLASS AND GLAZING:
Provide ½" standard taper gypsum board complying with 16 CFR 1201 in locations indicated on drawings. Provide ¼" quality G11 polished wire glass in locations indicated on drawings. Refer to other sections for glazing included as part of that section.

DIVISION 9 - FINISHES
09250 GYPSUM DRYWALL:
Provide ½" standard taper gypsum board complying with ASTM C36 unless otherwise indicated. Provide Type "X" where indicated and where required in fire resistance assemblies. Screw and glue drywall to wall and ceiling systems. Provide water resistant gypsum board (ASTM C 630) in toilet rooms and wonder board in wet areas. Provide manufacturer's standard metal trim accessories of the bead type. Provide ready-mixed vinyl joint compound and perforated joint tape. Install compound in three coats. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2 inch gypsum board.

DIVISION 16 - ELECTRICAL
Provide smoke detectors using an AC primary source as power supply per IRC code. Smoke detectors shall be interconnected. Provide battery backup. Electrical layout is diagrammatic in nature and may require additional items to meet code, which shall be provided by Contractor. All work to be performed in strict accordance with National Electric Code. Complete specifications to be supplied by others. Furnish and install all wiring boxes, wiring devices, outlet boxes, fittings, panels, breakers, safety disconnects, plates switches and all items necessary for a complete installation. Circuit panel box is at suggested locations only. This location may vary in accordance with power utility requirements. Connect ground lug to rebar in footing below circuit breaker panel.

NOTE:
Smoke detectors/carbon monoxide detectors are to be located in all sleeping areas and on each floor level. In addition, they are to be hard-wired w/ battery backup, interconnected and alarmed.

WINDLOAD CALCULATIONS
Buildings and portions thereof shall be constructed in accordance with the wind provisions of the International Residential Code using the ultimate design wind speed of 125 miles per hour.

PROTECTION OF OPENINGS
Wood structural panels with a minimum thickness of 7/16 inch and a maximum span of 8 feet shall be permitted for opening protection. Panels shall be precut and attached to the framing surrounding the opening containing the product with the glazed opening. Panels shall be predrilled as required for the anchorage method and shall be secured with the attachment hardwre provided.

PROTECTION OF ADJACENT PROPERTIES
Where any conditions of Section 5-23:-2.15(f)1.i.(1) are met, a plan shall be submitted to the construction official detailing the matter in which the adjoining property will be protected. The construction official is authorized to utilize special technical services as per NJAC 5:23-2.19. No permit shall be issued until such plans have been filed.

FLOOD-RESISTANT CONSTRUCTION
Buildings and structures constructed in whole or in part in flood hazard areas (including A or V Zones) shall be designed and constructed in accordance with the provisions contained in this section. The lowest floor shall be the floor of the lowest enclosed area, including basement, but excluding any unfinished flood-resistant enclosure that is useable soley for vehicle parking, building access or limited storage. Electrical systems, equipment and components; heating, ventilating, air conditioning; plumbing appliances and plumbing fixtures; duct systems; and other service equipment shall be located at or above the elevation required. Systems, fixtures, and equipment and components shall not be mounted on or penetrate through walls intended to break away under flood loads. New water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the systems. New sanitary systems shall be designed to minimize or eliminate infiltration of floodwaters into systems and discharges from s ystems into floodwaters. Building materials used below the elevation required shall comply with the following: All wood, including floor sheathing, shall be pressure-preservative-treated.

APPLICABLE CODES
International Building Code/2015
International Residential Code/2015
National Electric Code/2014
National Standard Plumbing Code/2015
Wood Frame Construction Manual/2001

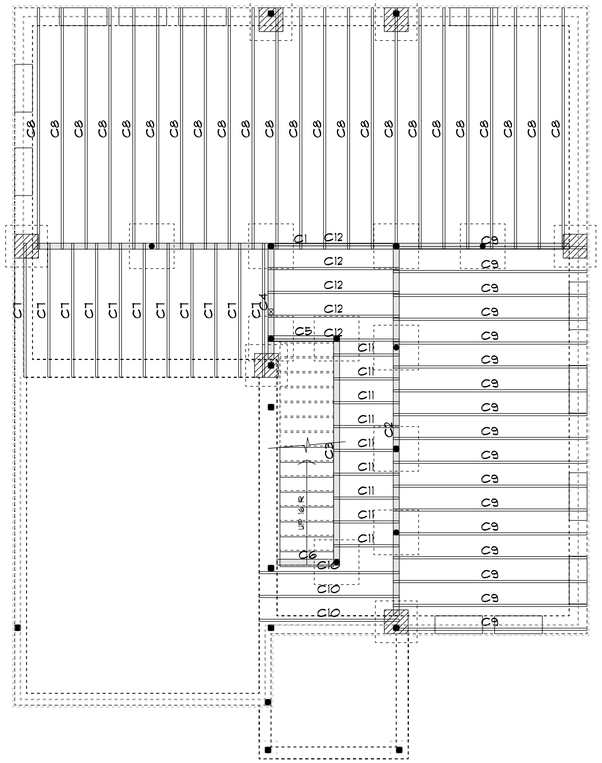
FASTENER SCHEDULE

DESCRIPTION OF BUILDING ELEMENTS	NO. & TYPE	SPACING
JOISTS TO SILL OR GIRDER, TOE NAIL	3-8d	
1 X 6 SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d	
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" o.c.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	
STUD TO SOLE PLATE, FACE NAIL	3-8d 2-16d	
DOUBLE STUDS, FACE NAIL	10d	24" o.c.
DOUBLE TOP PLATES, FACE NAIL	10d	24" o.c.
SOLE PLATE TO JOIST OR BLOCKING AT BRACING WALL PANELS	3-16d	16" o.c.
DOUBLE TOP PLATES, MIN 24" OFFSET OF END JOISTS, FACE NAIL IN LAPPED AREA	8-16d	
BLOCKING BETWEEN JOISTS ORRAFTERS TO TOP PLATE, TOE NAIL	3-8d	
RIM JOISTS TO TOP PLATE, TOE NAIL	8d	
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	
BUILT-UP HEADER, TWO PIECES WITH ½" SPACER	16d	16" o.c.
CONTINUED HEADER, TWO PIECES	16d	16" o.c.
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-10d	
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-10d	
RAFTER TO PLATE, TOE NAIL	2-16d	24" o.c.
BUILT-UP GIRDER AND BEAMS, 2-INCH LUMBER LAYOUT	10d	*
BUILT-UP CORNER STUDS	10d	
ROOF RAFTER TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	* 4-16d 3-16d	
RAFTER TIE TO RAFTERS, FACE	3-8d	

* NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED.
TWO NAILS AT ENDS AND AT EACH SPLICE.

BUILDING MATERIAL	DESCRIPTION OF FASTENER	FASTENERS EDGE	FASTENERS FIELD
WOOD STRUCTURAL PANELS SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING			
5/16 - 1/2	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)	6"	12"
19/32 - 1	8d COMMON NAIL	6"	12"

GENERAL NOTES:
1.) ALL NAILS ARE SMOOTH - COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
2.) 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITH MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS.
3.) NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES, AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
4.) ALL RAFTER TO PLATE CONNECTIONS TO BE REINFORCED WITH "SIMPSON" HURRICANE TIE NO. H2.5 OR EQUAL.



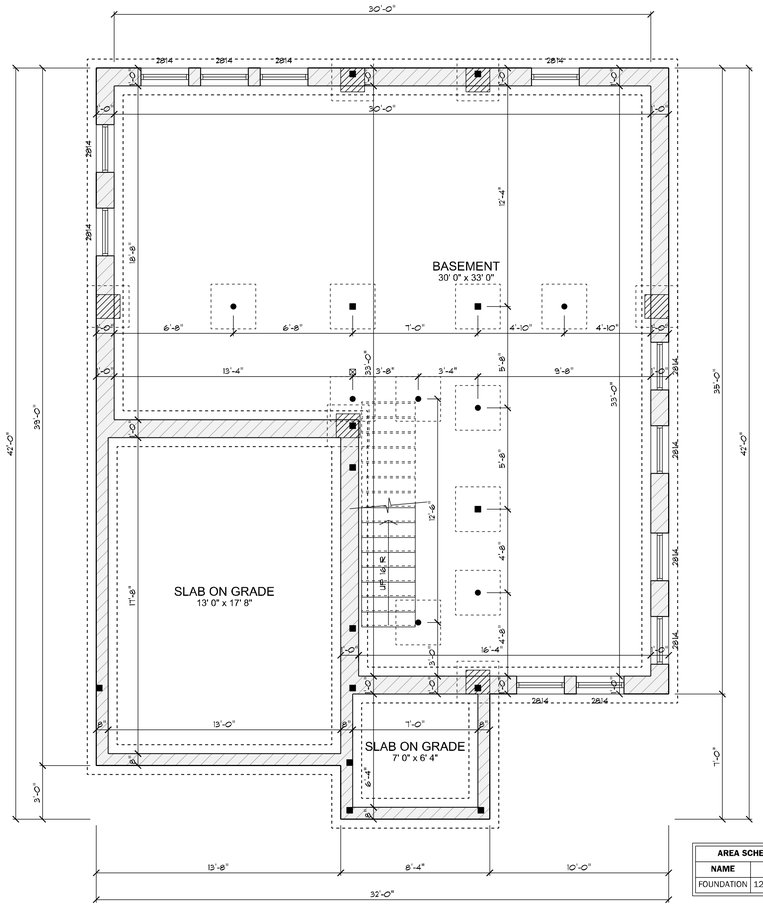
CEILING FRAMING SCHEDULE	
FRAMING ID	DEPTH
Floor: Drop Beam C1	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Drop Beam C2	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Drop Beam C3	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Drop Beam C4	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Flush Beam C5	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Floor: Flush Beam C6	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL

CEILING FRAMING SCHEDULE	
FRAMING ID	DEPTH
Floor: Joist C7	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C8	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C9	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C10	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C11	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C12	1 piece(s) 11 7/8" TJI® 110 @ 16" OC

PROPOSED FOUNDATION - CEILING
SCALE: 1/4" = 1'-0"

THE YORK MODEL

ROOM FINISH SCHEDULE					
ROOM NAME	FLOORING	CEILING FINISH	CEILING MATERIAL	WALLCOVERING	AREA
BASEMENT	4" Concrete	Flat	Drywall	Unfinished	794.1 sq ft.
SLAB ON GRADE	4" Concrete	NA	NA	NA	44.3 sq ft.
SLAB ON GRADE	4" Concrete	NA	NA	NA	229.7 sq ft.



AREA SCHEDULE	
NAME	AREA
FOUNDATION	1233.0 sq ft.

PROPOSED FOUNDATION
SCALE: 1/4" = 1'-0"

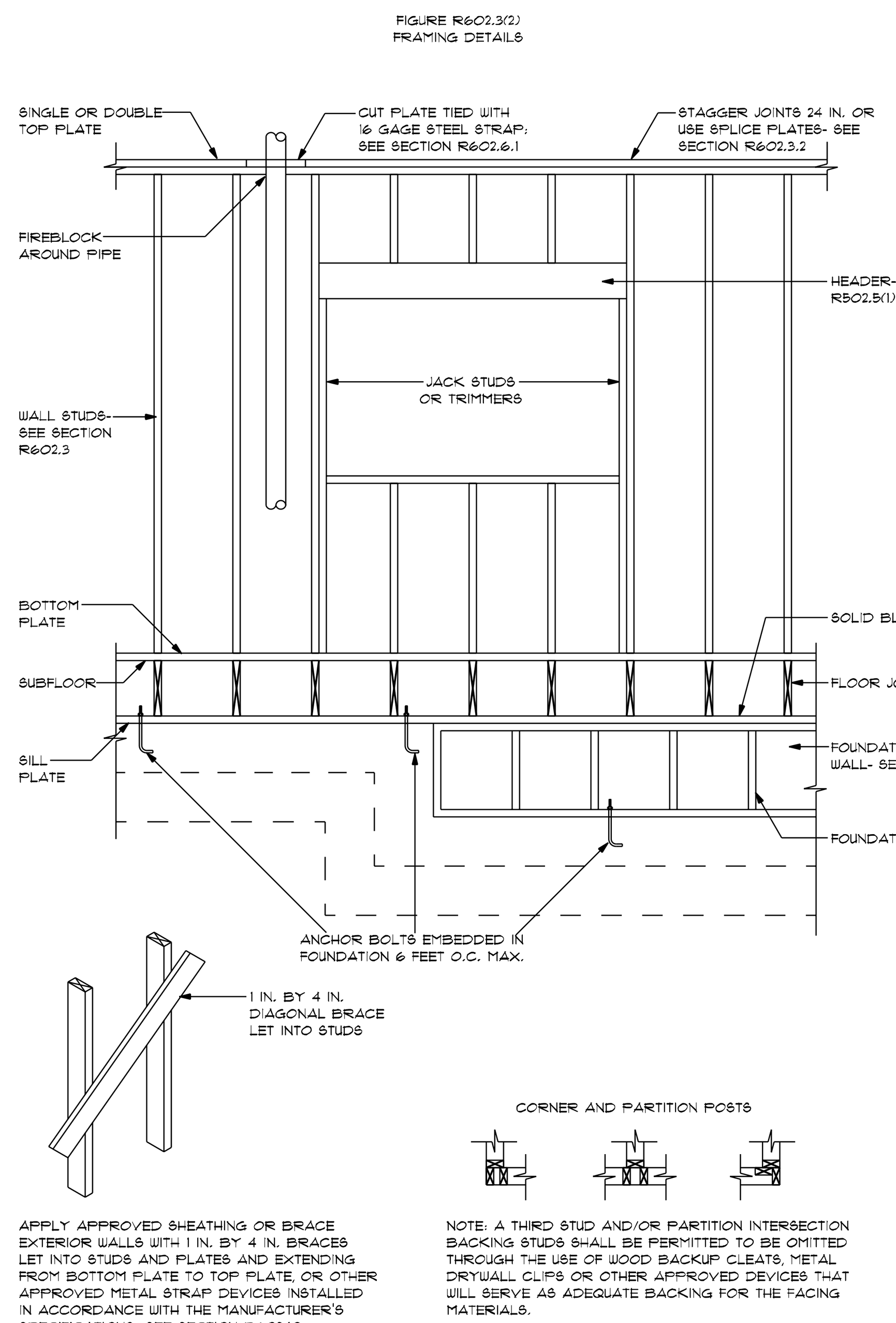
BRIAN BERZINSKIS
LICENSED ARCHITECT
NEW JERSEY

PROJECT FOR:
MSC Enterprises, LLC
107 West First Street
Howell
New Jersey
Project Number
CN#019-11-022
Block: 110
Lot: 9

DATE	BY
2/14/2020	BB

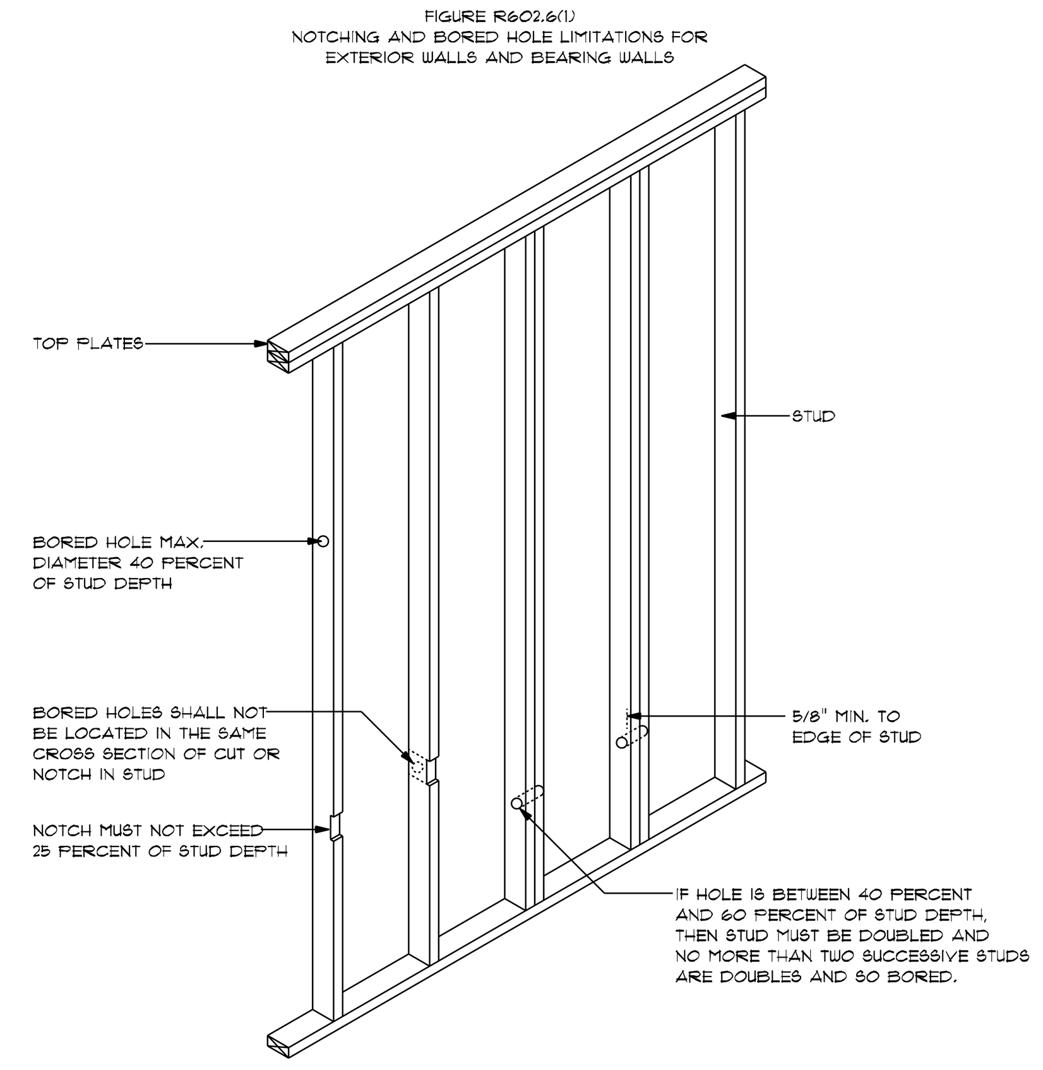
Grasso Design Group
231 Highway 71
Manasquan
New Jersey
Phone: 732-528-5850
Fax: 732-528-9067
design@grassodg.com
http://www.grassodg.com

A-1
SHEET
TOTAL
5



WALL & HEADER FRAMING

3/8" = 1'-0"

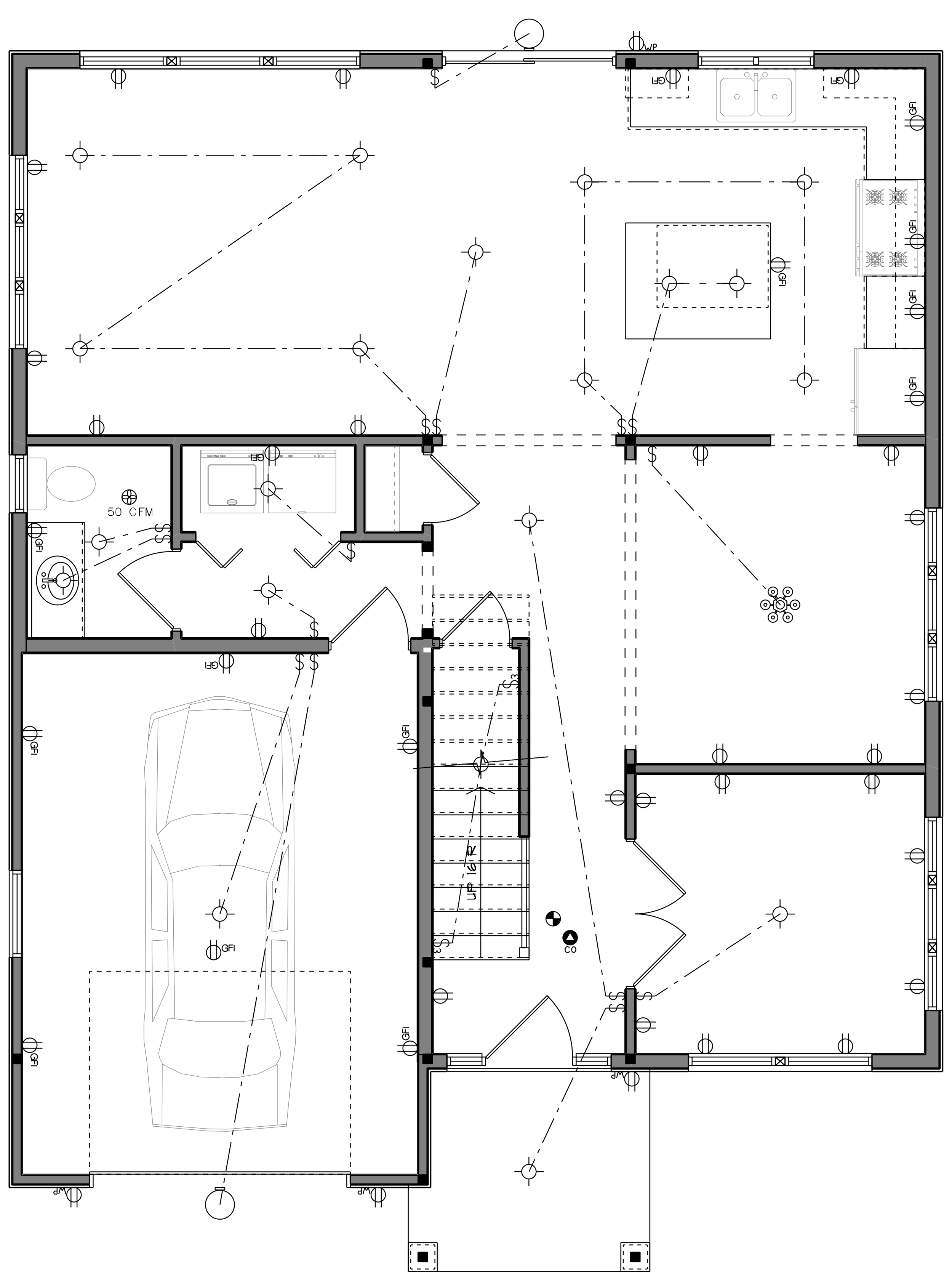


WALL NOTCHING DETAIL

3/8" = 1'-0"

ROOM FINISH SCHEDULE

ROOM NAME	FLOORING	CEILING FINISH	CEILING MATERIAL	WALLCOVERING	AREA
BATH	Tile	Flat	Drywall	Tile	32.8 sq ft.
GARAGE	4" Concrete	Flat	Drywall Type X	Drywall Type X	244.7 sq ft.
LAUNDRY	Tile w/ Drain	Flat	Drywall	Paint	17.6 sq ft.
OFFICE	Hardwood	Coffer	Drywall	Paint	95.8 sq ft.
DINING ROOM	Hardwood	Coffer	Drywall	Wainscoting	109.1 sq ft.
COVERED PORCH	Stone	Flat	Tongue & Groove	36" High Railing	54.4 sq ft.
LIVING	Hardwood	Flat	Drywall	Paint	390.8 sq ft.

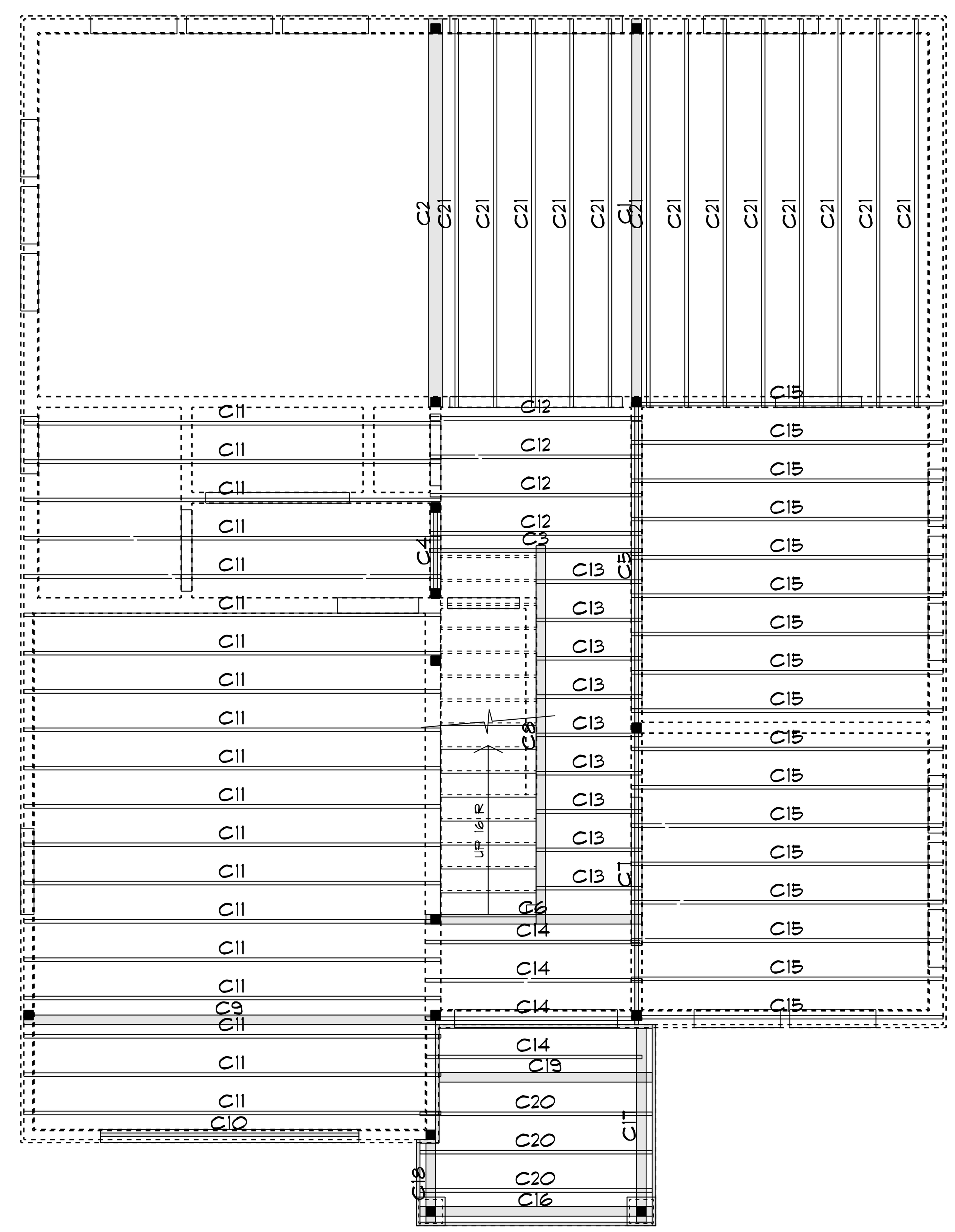


ELECTRICAL LEGEND

ELECTRICAL	COUNT	SYMBOL
chandelier 01	1	
exterior light 01	2	
co detector	1	CO
fan 50 CFM	1	50 CFM
light	20	
outlet	23	
outlet gfi	15	GFI
outlet wp	4	WP
smoke detector	1	
switch	15	$
switch 3 way	2	$3

PROPOSED FIRST FLOOR - ELECTRICAL

SCALE: 1/4" = 1'-0"



CEILING FRAMING SCHEDULE

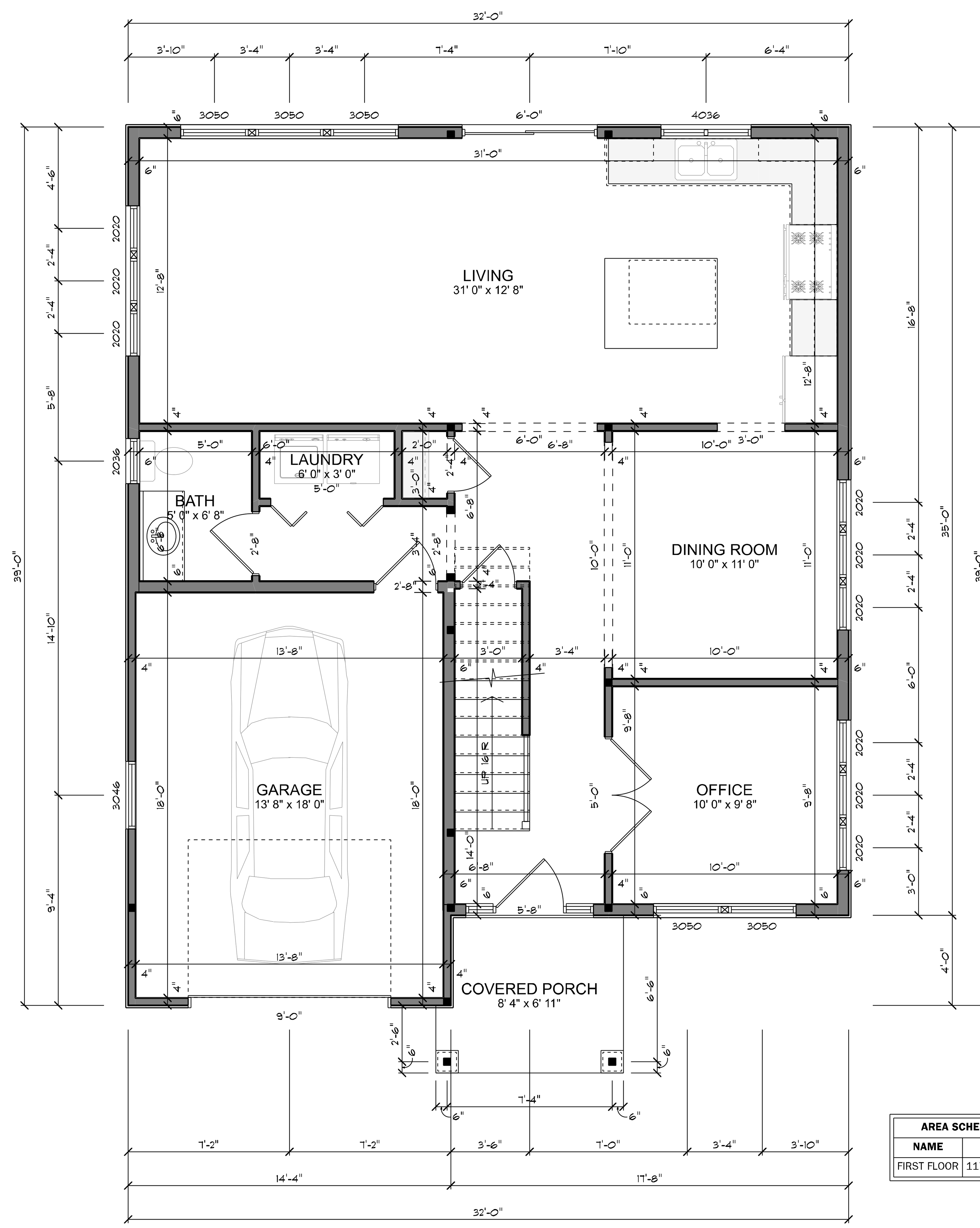
FRAMING ID	DEPTH
Floor: Flush Beam C1	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Floor: Flush Beam C2	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Floor: Flush Beam C3	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Wall: Header C4	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Wall: Header C5	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Floor: Flush Beam C6	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Wall: Header C7	1 piece(s) 3 1/2" x 11 1/4" 2.0E Parallam® PSL
Floor: Flush Beam C8	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Floor: Drop Beam C9	1 piece(s) 3 1/2" x 14" 2.0E Parallam® PSL
Wall: Header C10	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Joist C11	1 piece(s) 11 7/8" TJI® 110 @ 16" OC

CEILING FRAMING SCHEDULE

FRAMING ID	DEPTH
Floor: Joist C12	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C13	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C14	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Joist C15	1 piece(s) 11 7/8" TJI® 110 @ 16" OC
Floor: Drop Beam C16	1 piece(s) 5 1/4" x 9 1/4" 2.0E Parallam® PSL
Floor: Drop Beam C17	1 piece(s) 5 1/4" x 9 1/4" 2.0E Parallam® PSL
Floor: Drop Beam C18	1 piece(s) 5 1/4" x 9 1/4" 2.0E Parallam® PSL
Floor: Flush Beam C19	1 piece(s) 3 1/2" x 11 7/8" 2.0E Parallam® PSL
Floor: Joist C20	1 piece(s) 2 x 8 Douglas Fir-Larch No. 2 @ 16" OC
Floor: Joist C21	1 piece(s) 11 7/8" TJI® 110 @ 16" OC

PROPOSED FIRST FLOOR - CEILING

SCALE: 1/4" = 1'-0"

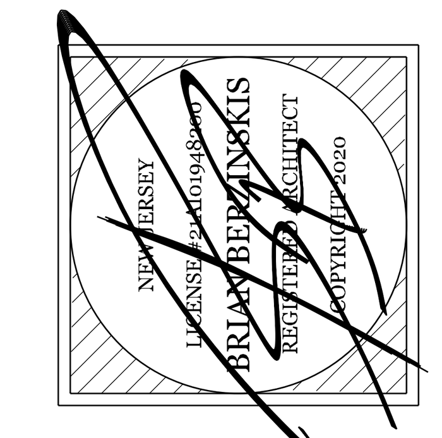


AREA SCHEDULE

NAME	AREA
FIRST FLOOR	1177.3 sq ft.

PROPOSED FIRST FLOOR

SCALE: 1/4" = 1'-0"



PROJECT FOR:

MSC Enterprises, LLC

Block: 110
Lot: 9

107 West First Street
Howell
New Jersey

Project Number
CN#019-11-022

DATE	BY
2/14/2020	BB

Grasso Design Group

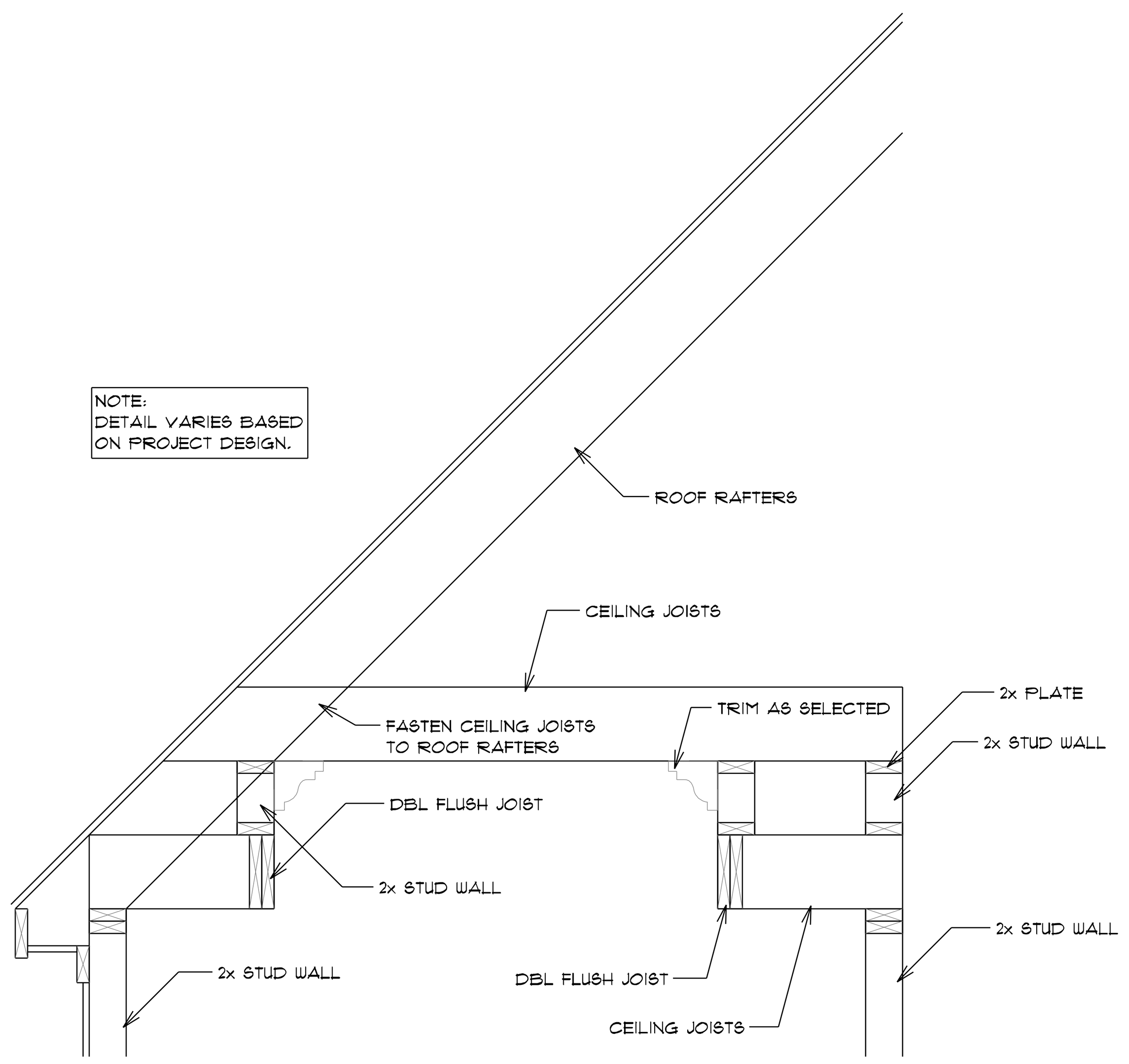
231 Highway 71
Manasquan
New Jersey

Phone: 732-528-5850
Fax: 732-528-9067

design@grassodg.com
http://www.grassodg.com

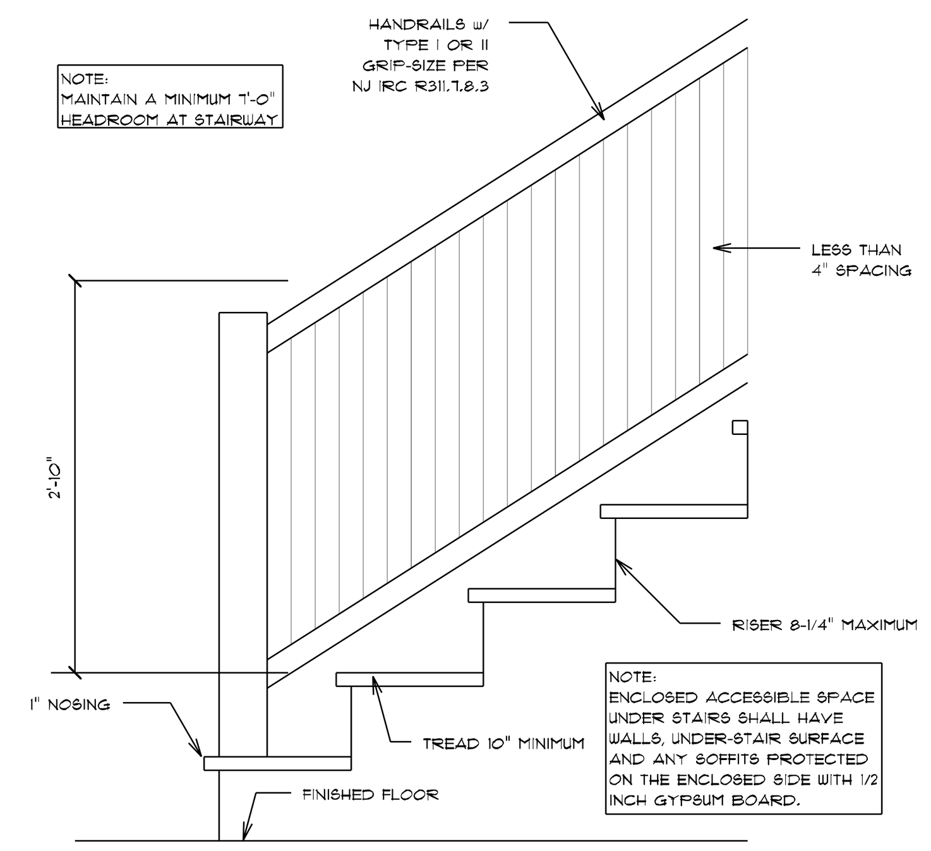
A-2 SHEET

5 TOTAL



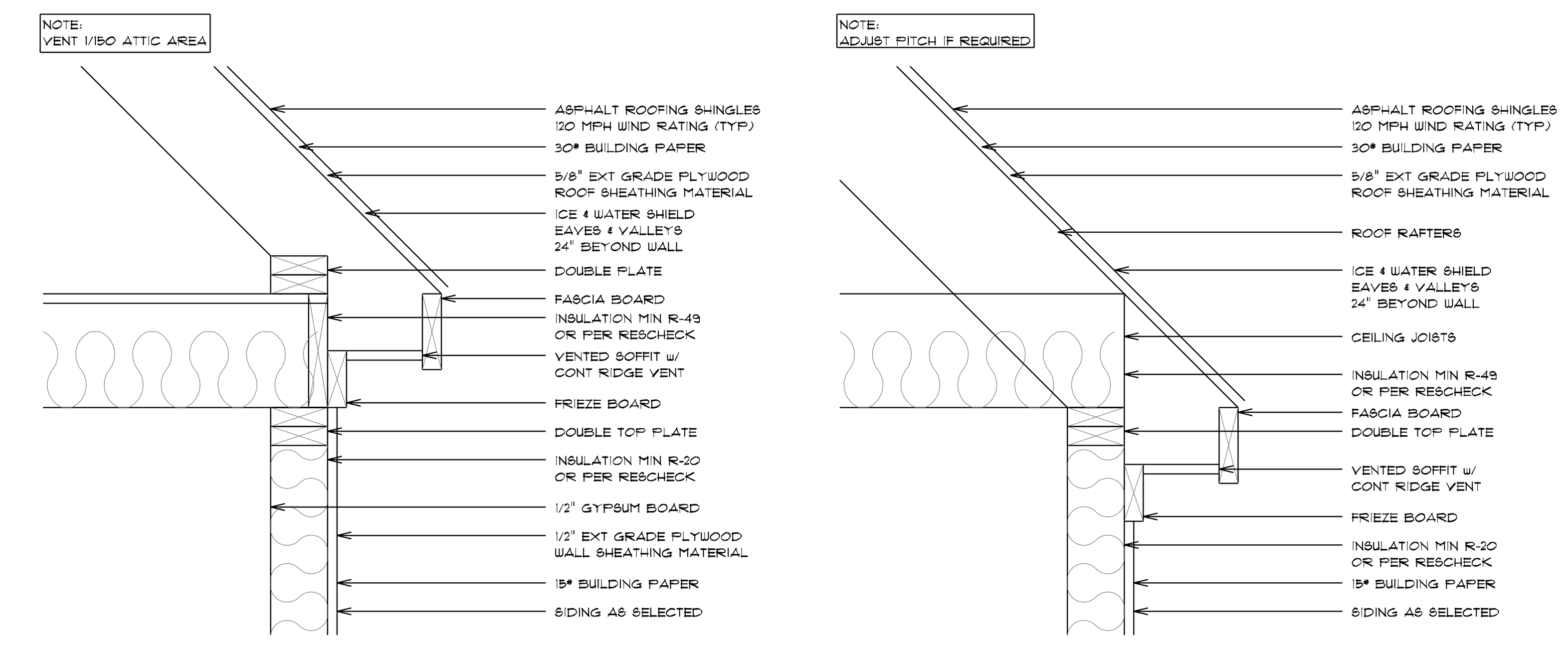
TRAY FRAMING DETAIL

1/2" = 1'-0"



TYPICAL STAIR DETAIL

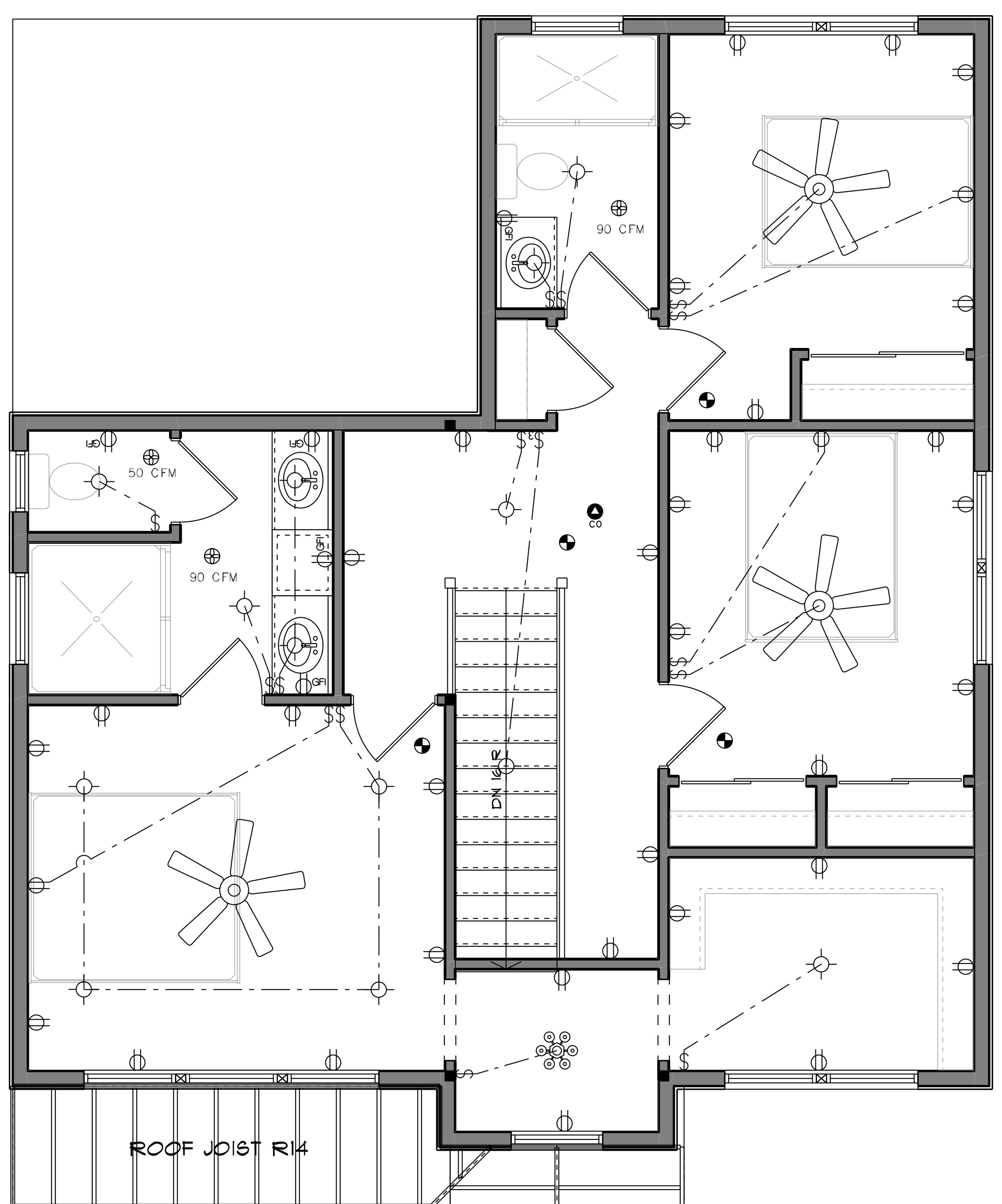
3/4" = 1'-0"



TYPICAL ROOF SECTION

3/4" = 1'-0"

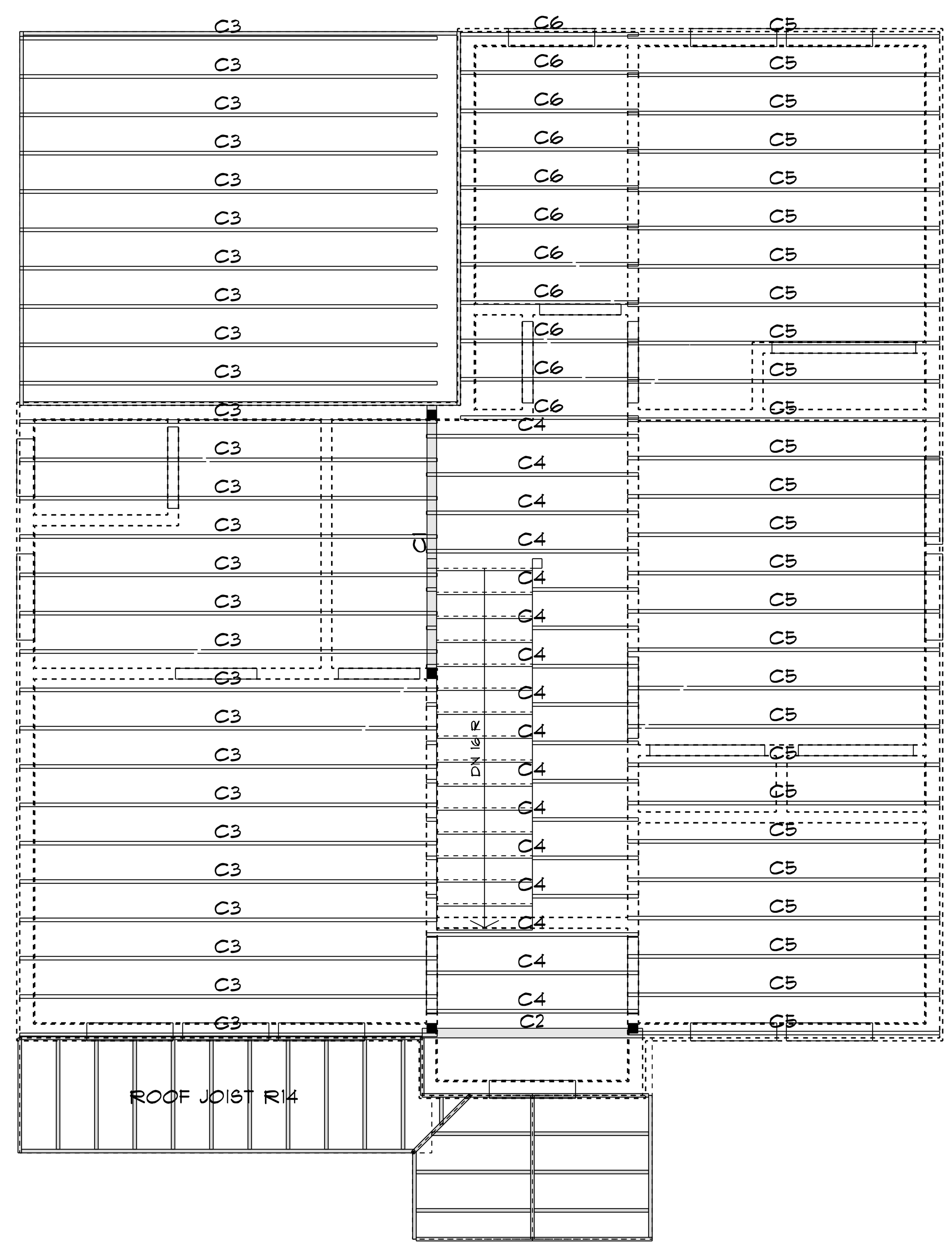
ROOM FINISH SCHEDULE					
ROOM NAME	FLOORING	CEILING FINISH	CEILING MATERIAL	WALLCOVERING	AREA
BATH	Tile	Flat	Drywall	Tile	47.4 sq ft.
BEDROOM 1	Hardwood	Flat	Drywall	Paint	111.7 sq ft.
MASTER BATH	Tile	Flat	Drywall	Tile	67.6 sq ft.
MASTER BEDROOM	Hardwood	Tray	Drywall	Paint	162.9 sq ft.
DRESSING ROOM	Hardwood	Tray	Drywall	Paint	35.1 sq ft.
WALK IN	Hardwood	Flat	Drywall	Paint	69.3 sq ft.
WC	Tile	Flat	Drywall	Paint	15.2 sq ft.
BEDROOM 2	Hardwood	Flat	Drywall	Paint	112.4 sq ft.



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan 5 bladed 01	3	
chandelier 01	1	
co detector	1	CO
fan 50 CFM	1	50 CFM
fan 90 CFM	2	90 CFM
light	13	
outlet	36	
outlet gfi	5	GFI
smoke detector	4	
switch	14	$
switch 3 way	1	$3

PROPOSED SECOND FLOOR - ELECTRICAL

SCALE: 1/4" = 1'-0"

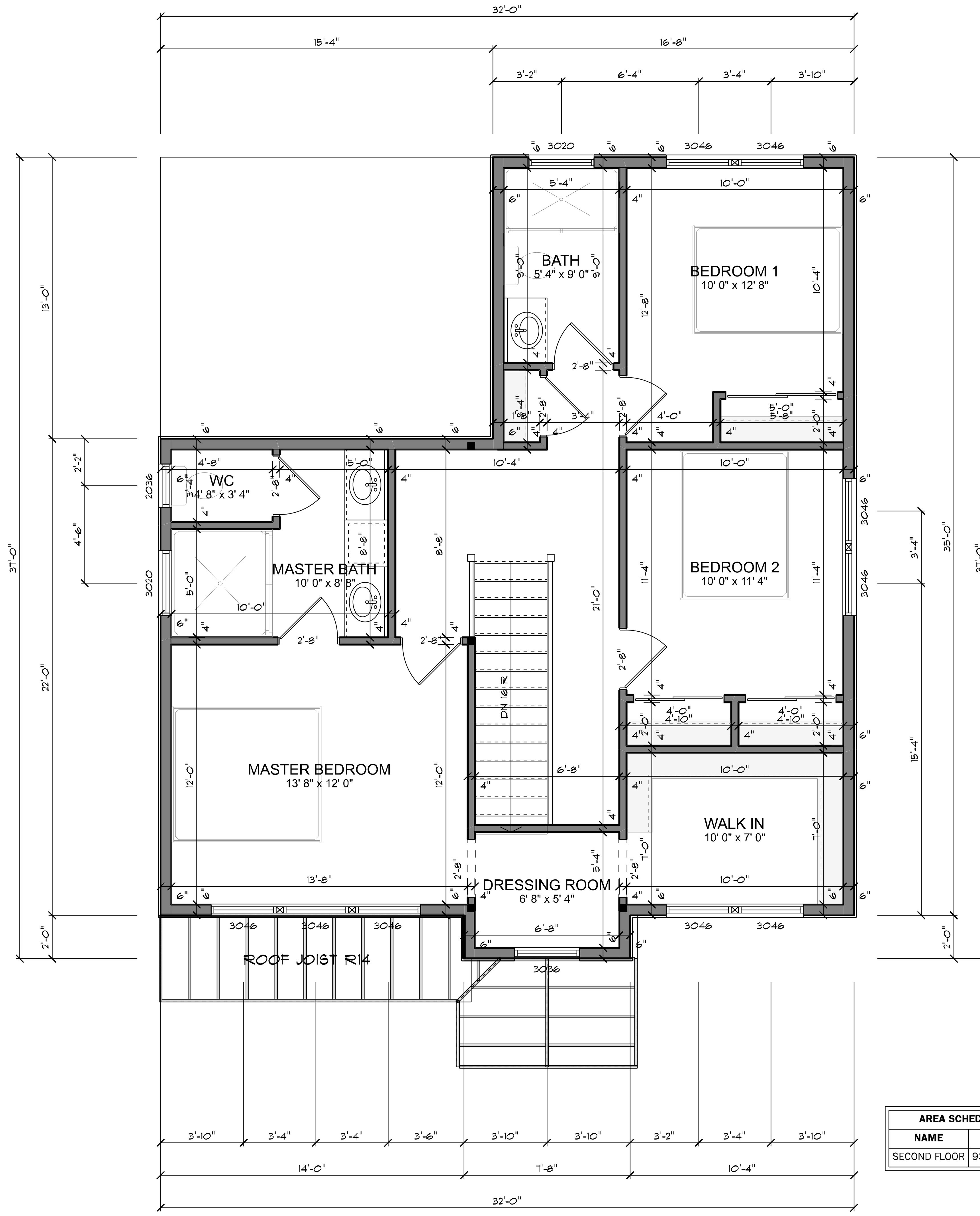


CEILING FRAMING SCHEDULE	
FRAMING ID	DEPTH
Roof: Joist R14	1 piece(s) 2 x 8 Douglas Fir-Larch No. 2 @ 16" OC
Floor: Flush Beam C1	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Flush Beam C2	1 piece(s) 3 1/2" x 9 1/4" 2.0E Parallam® PSL
Floor: Joist C3	1 piece(s) 2 x 8 Douglas Fir-Larch No. 2 @ 16" OC

CEILING FRAMING SCHEDULE	
FRAMING ID	DEPTH
Floor: Joist C4	1 piece(s) 2 x 8 Douglas Fir-Larch No. 2 @ 16" OC
Floor: Joist C5	1 piece(s) 2 x 8 Douglas Fir-Larch No. 2 @ 16" OC
Floor: Joist C6	1 piece(s) 2 x 8 Douglas Fir-Larch No. 2 @ 16" OC

PROPOSED SECOND FLOOR - CEILING

SCALE: 1/4" = 1'-0"



AREA SCHEDULE	
NAME	AREA
SECOND FLOOR	936.0 sq ft.

PROPOSED SECOND FLOOR

SCALE: 1/4" = 1'-0"

NEW JERSEY
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REGISTERED ARCHITECT
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PROJECT FOR:

MSC Enterprises, LLC

Block: 110
Lot: 9

107 West First Street
Howell
New Jersey

Project Number
CN#019-11-022

DATE	BY
2/14/2020	BB

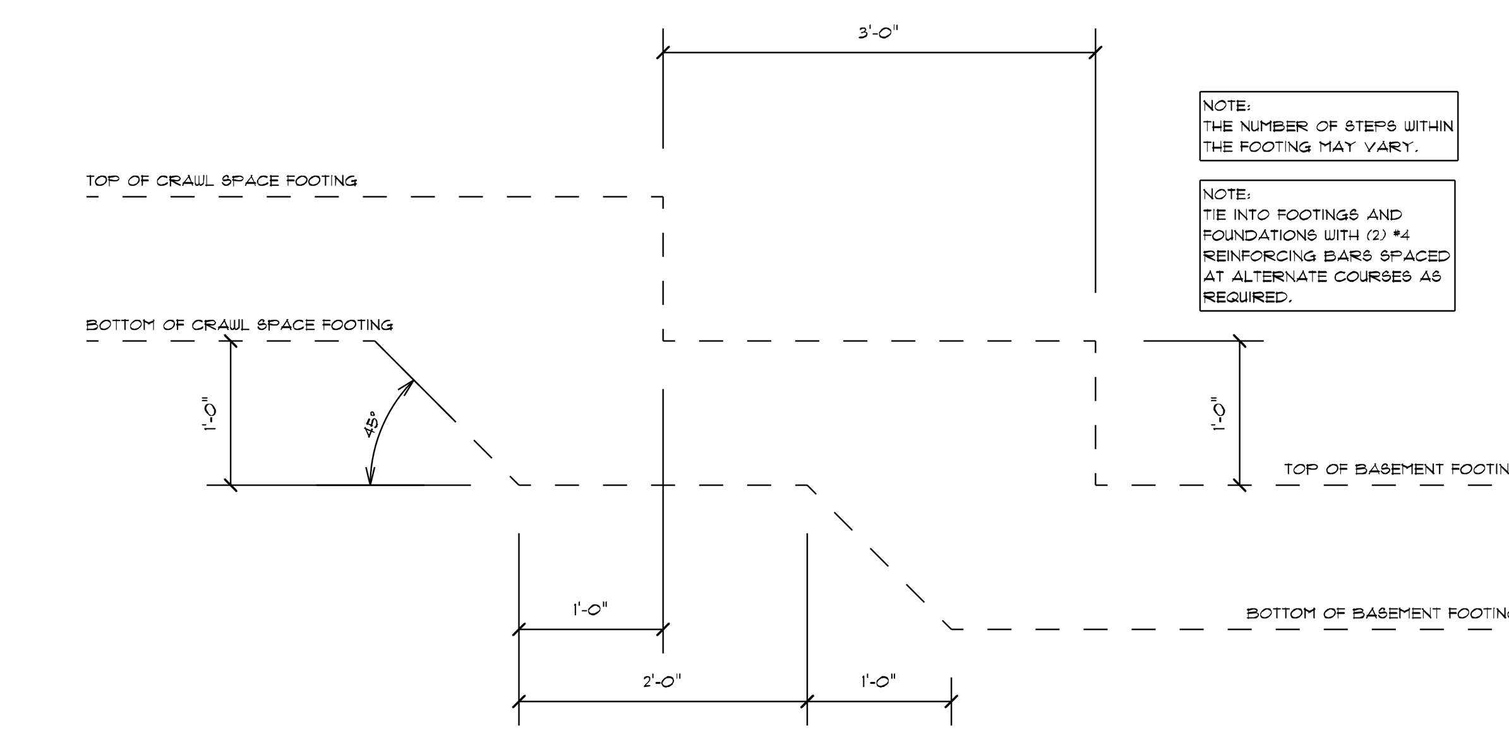
Grasso Design Group

Phone: 732-528-5850
Fax: 732-528-9067

231 Highway 71
Manasquan
New Jersey

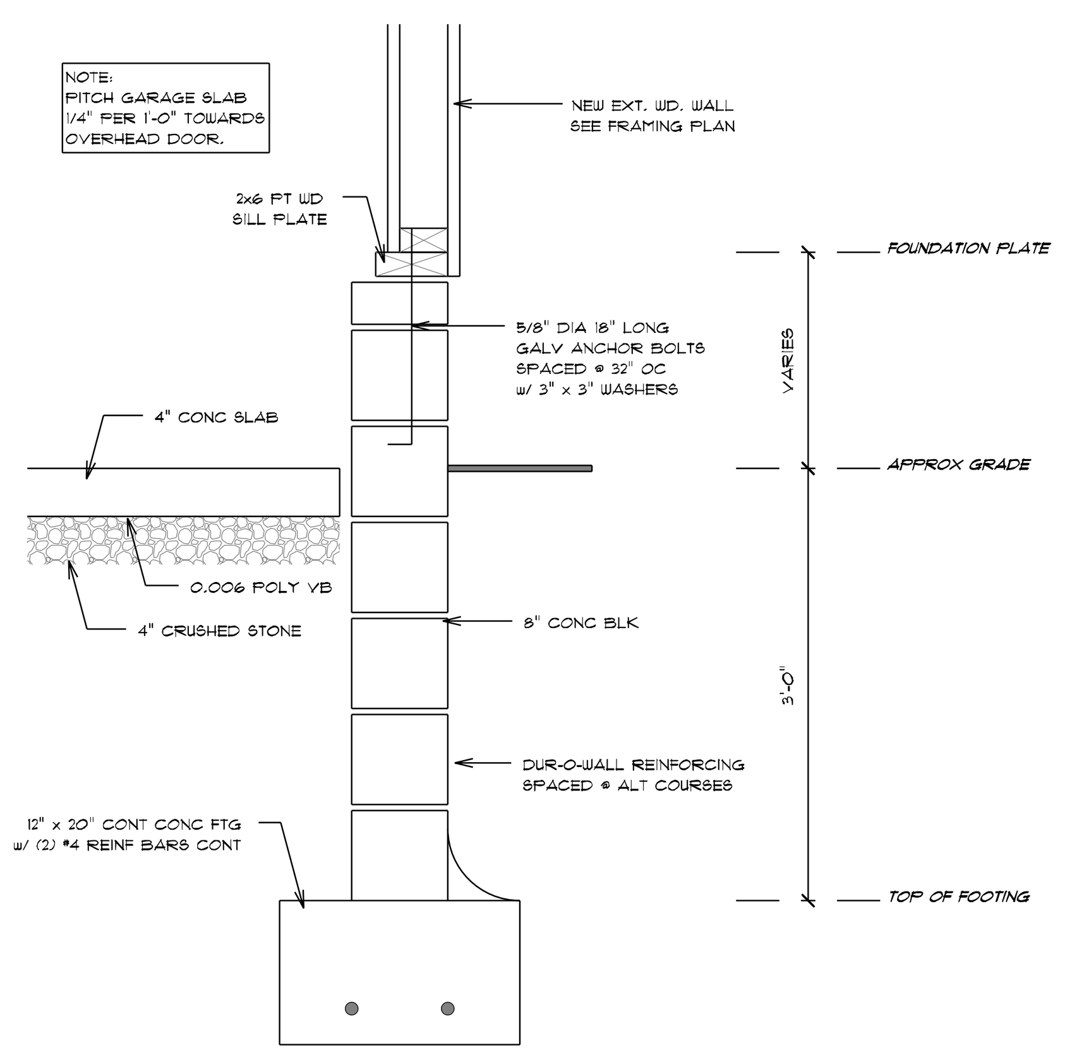
design@grassodg.com
http://www.grassodg.com

SHEET A-3
TOTAL 5



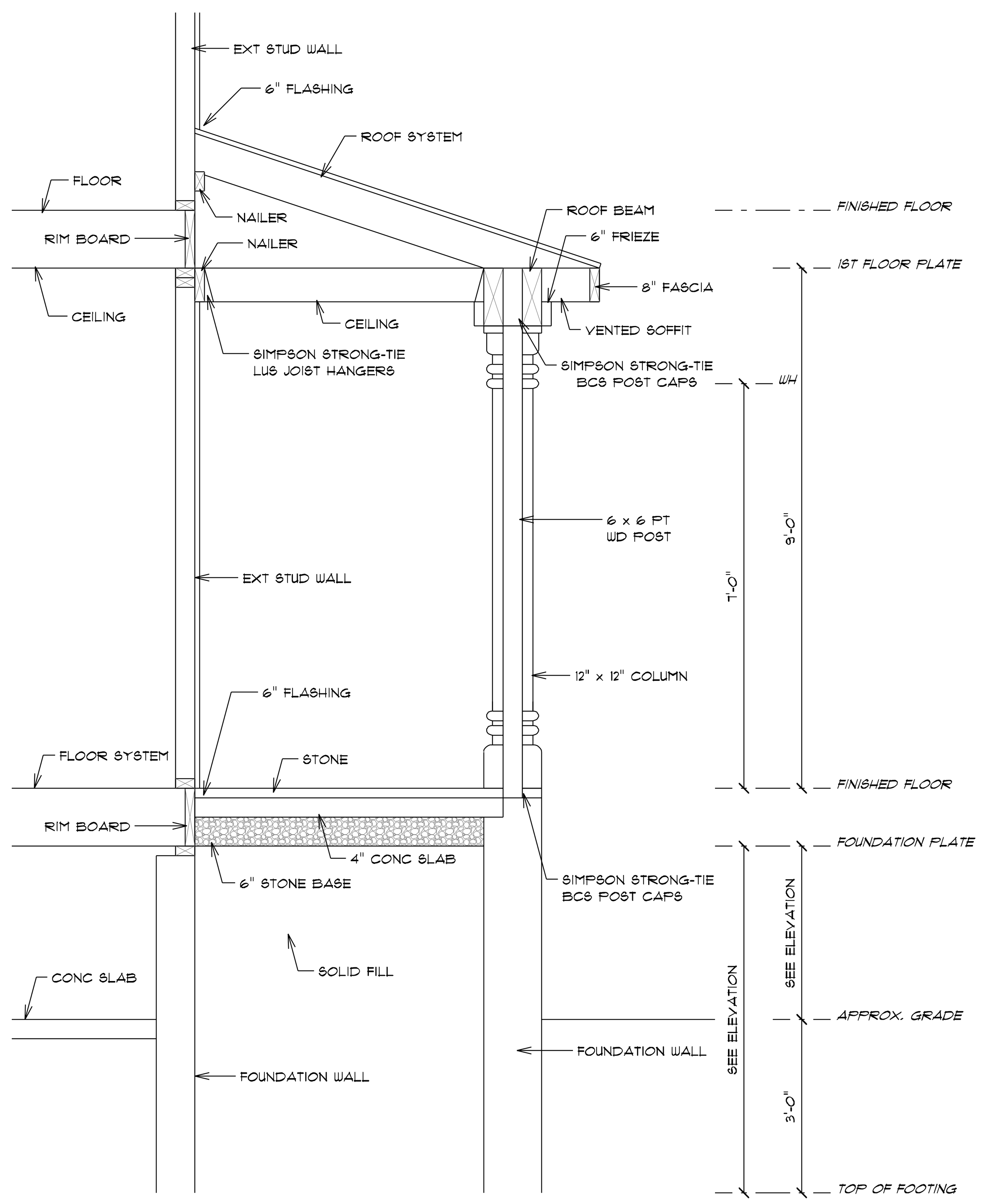
STEP FOOTING DETAIL

3/4" = 1'-0"



SLAB ON GRADE DETAIL

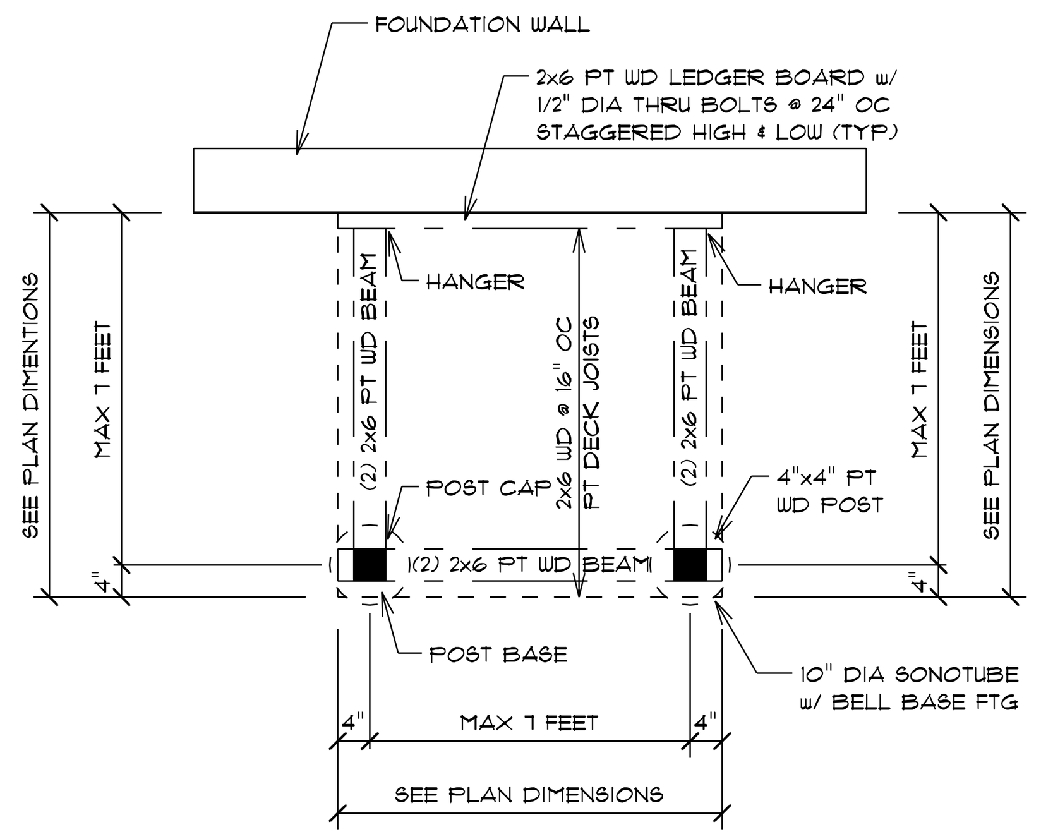
3/4" = 1'-0"



PORCH CROSS SECTION

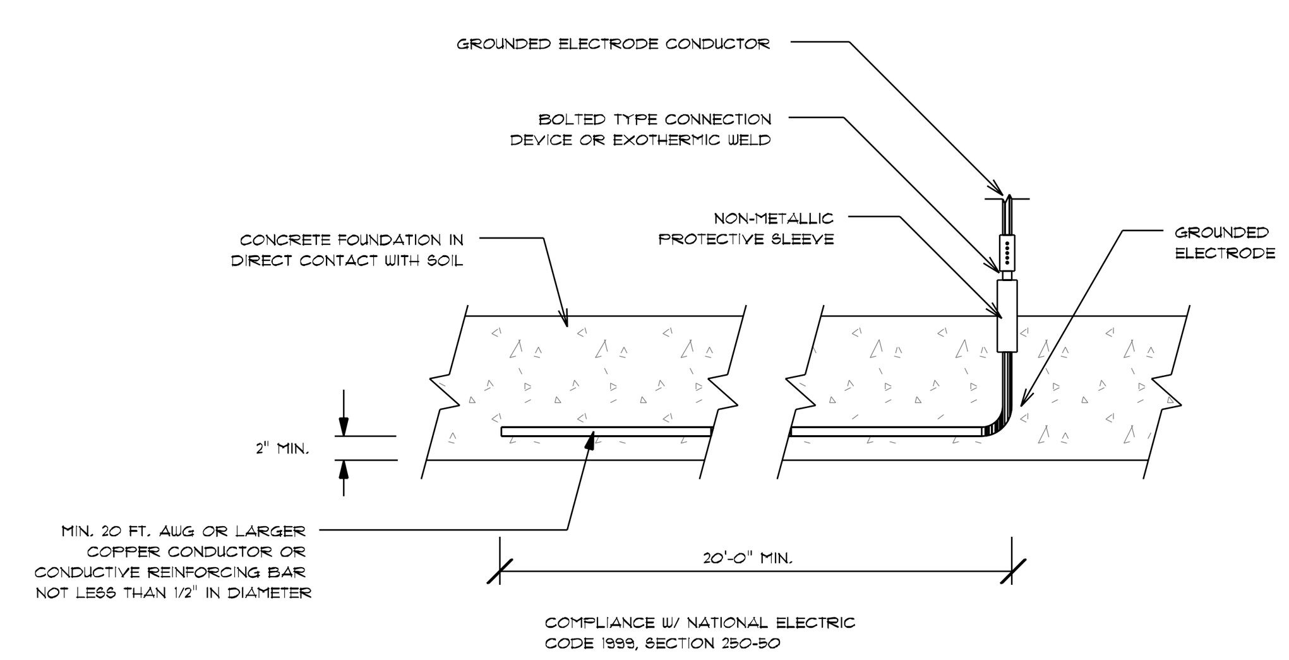
1/2" = 1'-0"

NOTE:
Doors other than the required egress door shall be provided with landings or floors not more than 8-1/4 inches below the top of the threshold.



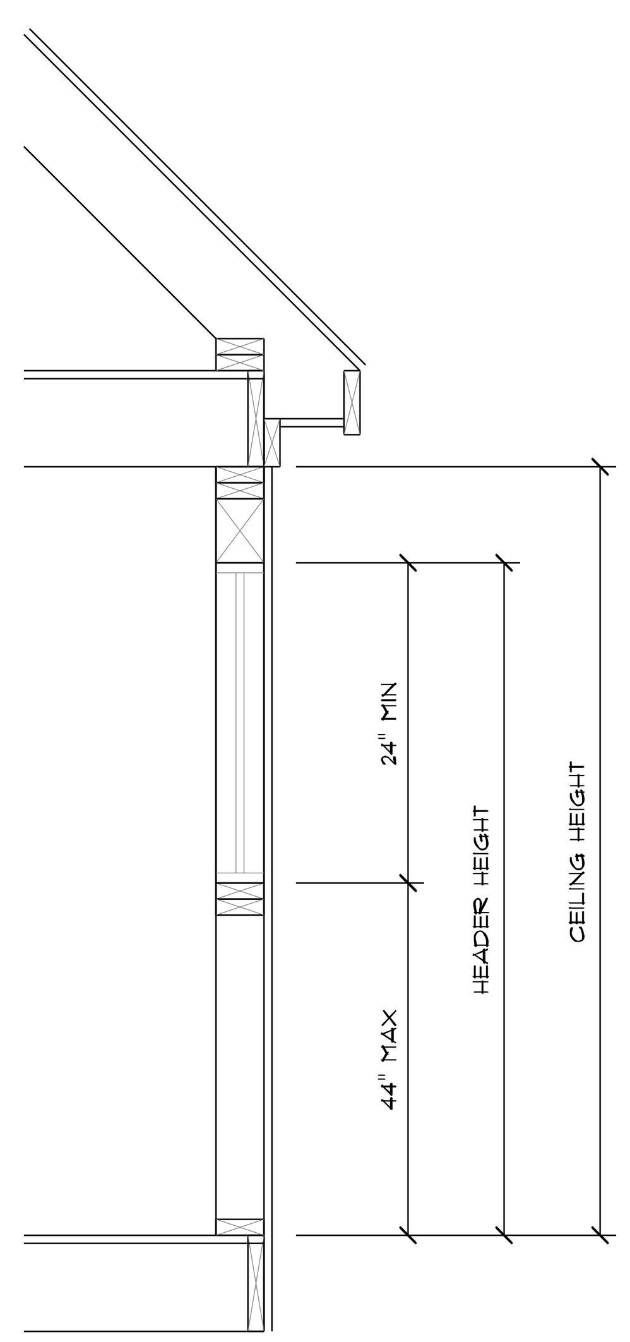
LANDING FRAMING DETAIL

1/2" = 1'-0"



GROUNDING ROD DETAIL

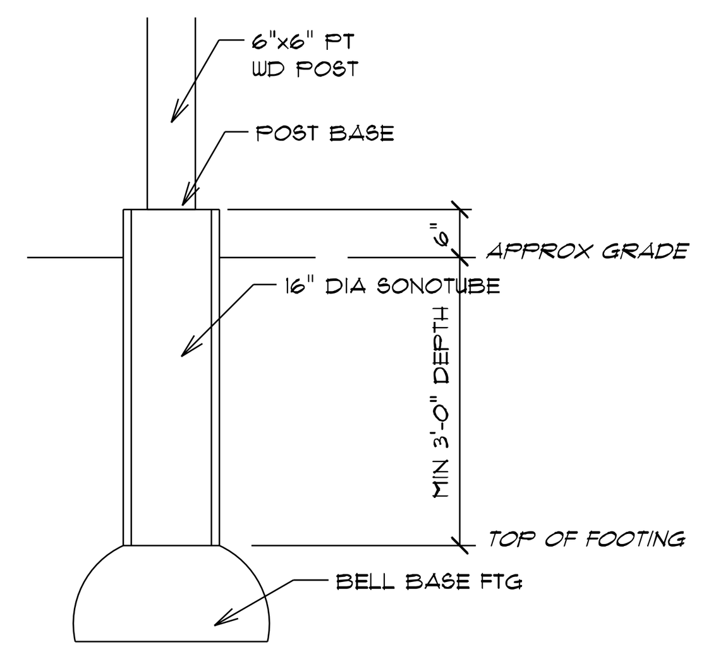
3/4" = 1'-0"



R310.2 Emergency escape and rescue openings. Emergency escape and rescue openings shall have minimum dimensions as specified in this section.
R310.2.1 Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m2). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm). Exception: Grade floor or below grade openings shall have a net clear opening of not less than 5 square feet (0.465 m2).
R310.2.2 Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1118 mm) above the floor; where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.

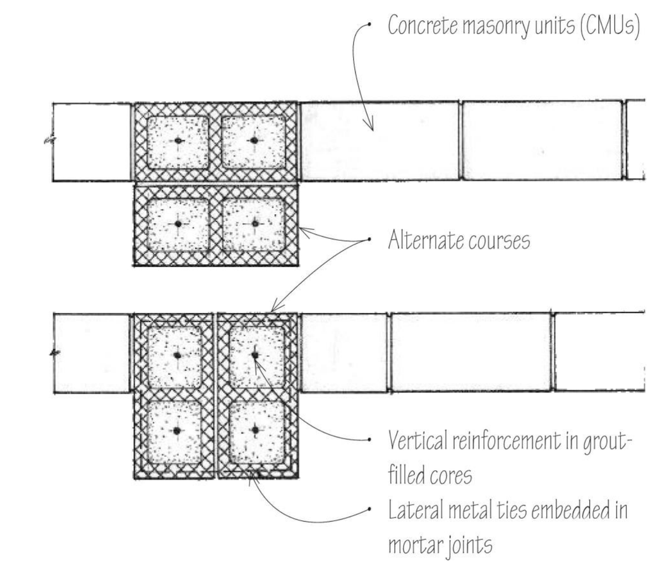
EGRESS WINDOW DETAIL

1/2" = 1'-0"



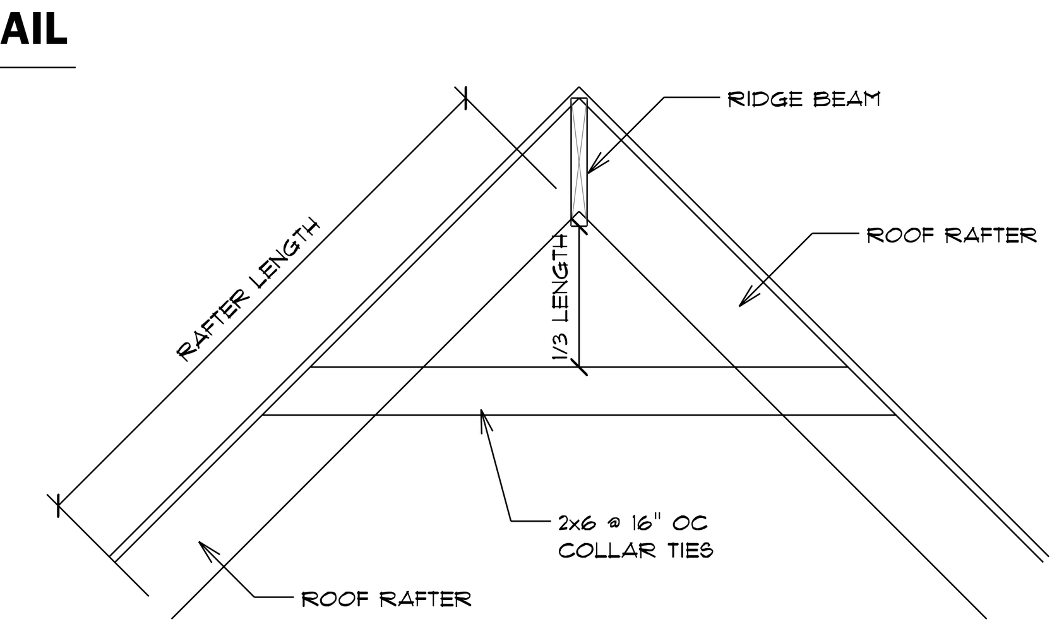
SONOTUBE DETAIL

1/2" = 1'-0"



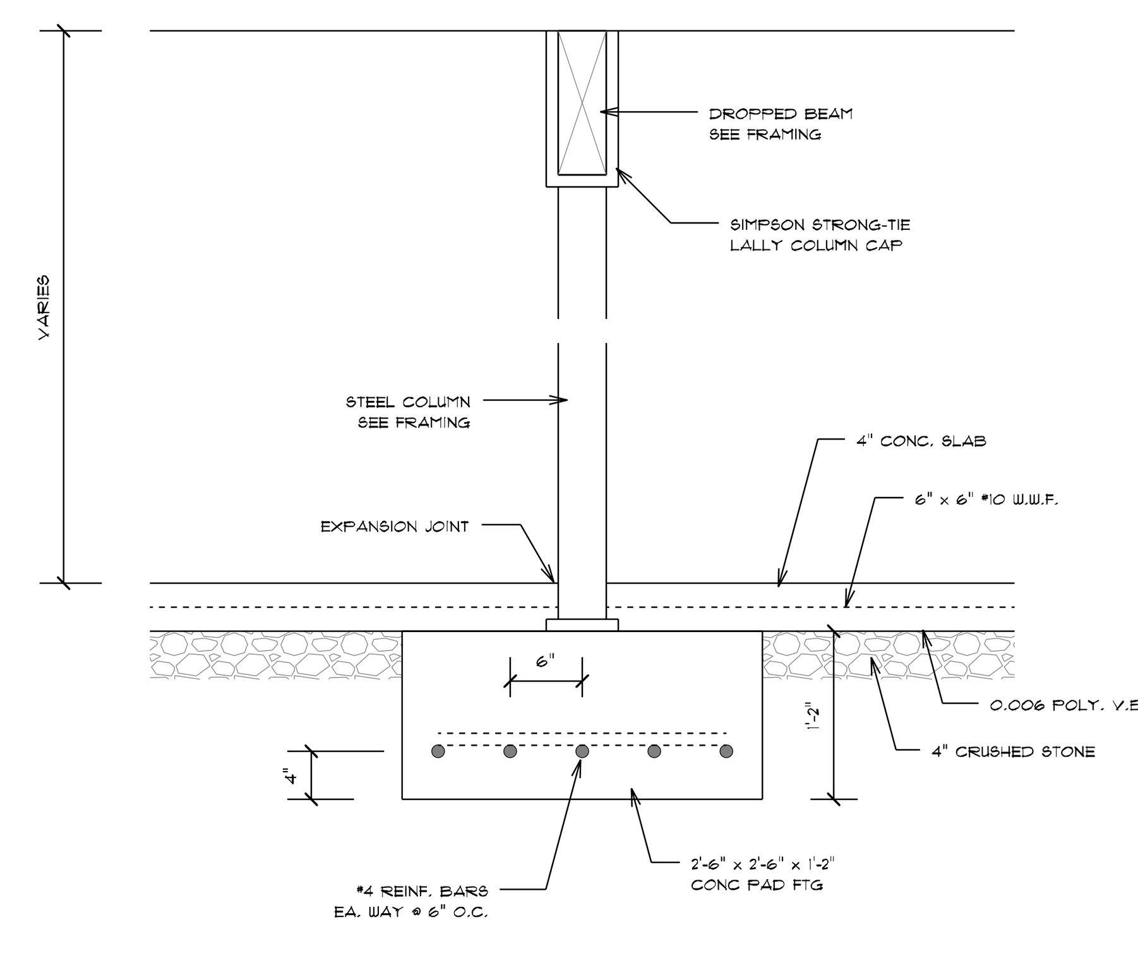
SECTION- PILASTER

SCALE: 1" = 50'-0"



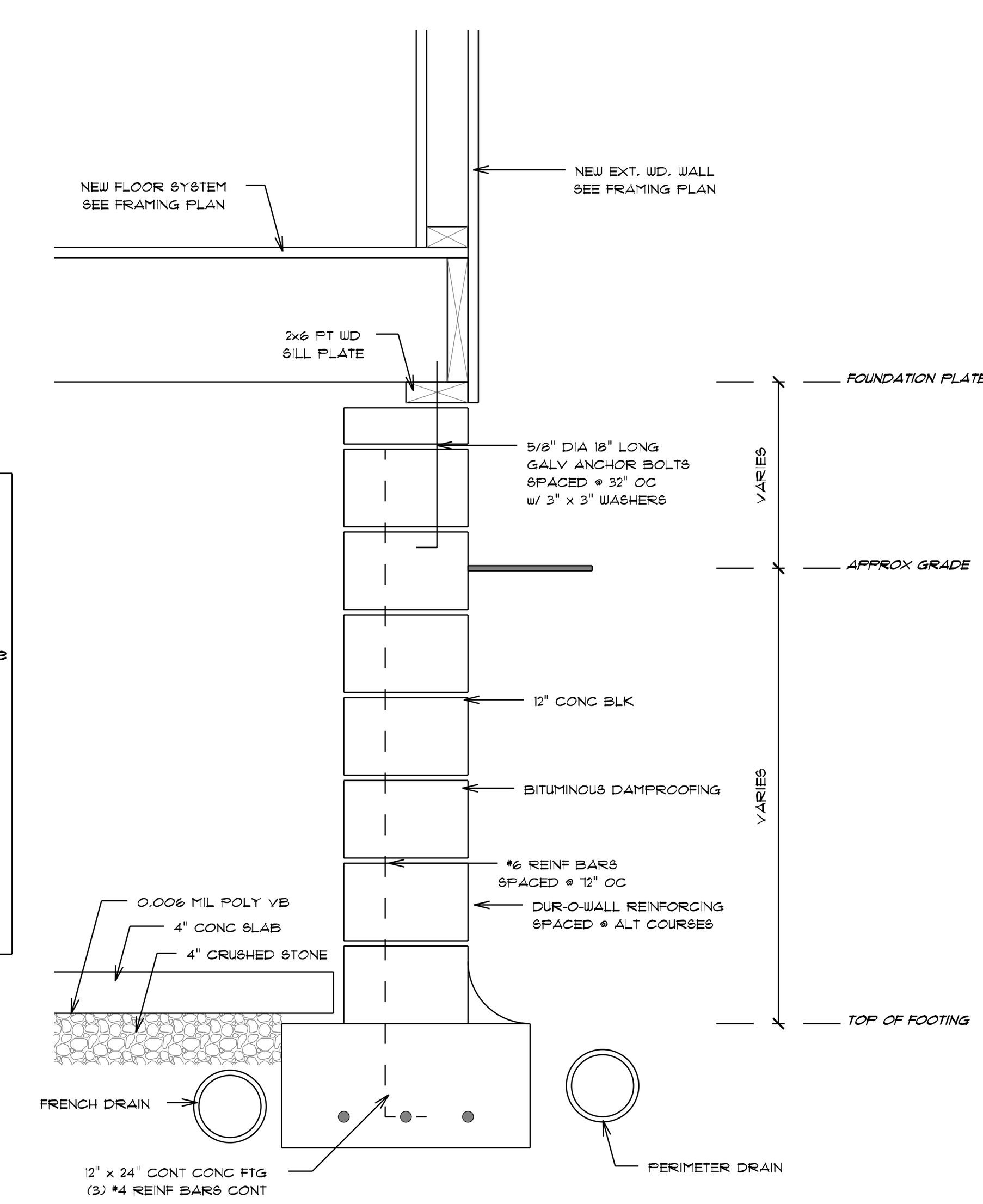
COLLAR TIE DETAIL

1/2" = 1'-0"



BASEMENT COLUMN DETAIL

3/4" = 1'-0"



BASEMENT DETAIL

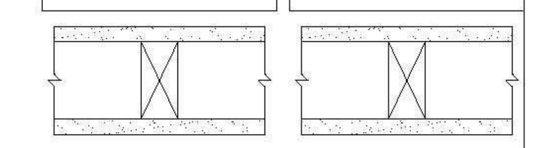
3/4" = 1'-0"

WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED			
GA FILE NO. WP 3510	GENERIC	1 HOUR FIRE	35 to 39 STC SOUND

GYPSUM WALLBOARD, WOOD STUDS

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 24" o.c. with 6d coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c.

Joints staggered 24" on opposite sides. (**LOAD-BEARING**)

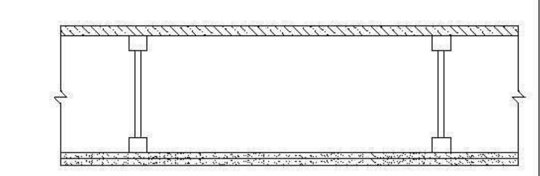


Thickness: 4 7/8"
Approx. Weight: 7 psf
Fire Test: UL R3501-47, -48, 9-17-65, Design U309; UL R1319-129, 7-22-70, UL Design U314
Sound Test: NGC 2404, 10-14-70

FLOOR-CEILING SYSTEMS, WOOD-FRAMED			
GA FILE NO. FC 5407	GENERIC	1 HOUR FIRE	35 to 39 STC SOUND

WOOD I-JOISTS, GYPSUM WALLBOARD

Base layer 5/8" type X gypsum wallboard applied at right angles to wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. **Face** layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to I-joists with 1 7/8" Type W or S drywall screws 12" o.c. at joints and intermediate I-joists and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood I-joists supporting 1/2" wood structural panels applied at right angles to joists with 8d nails.

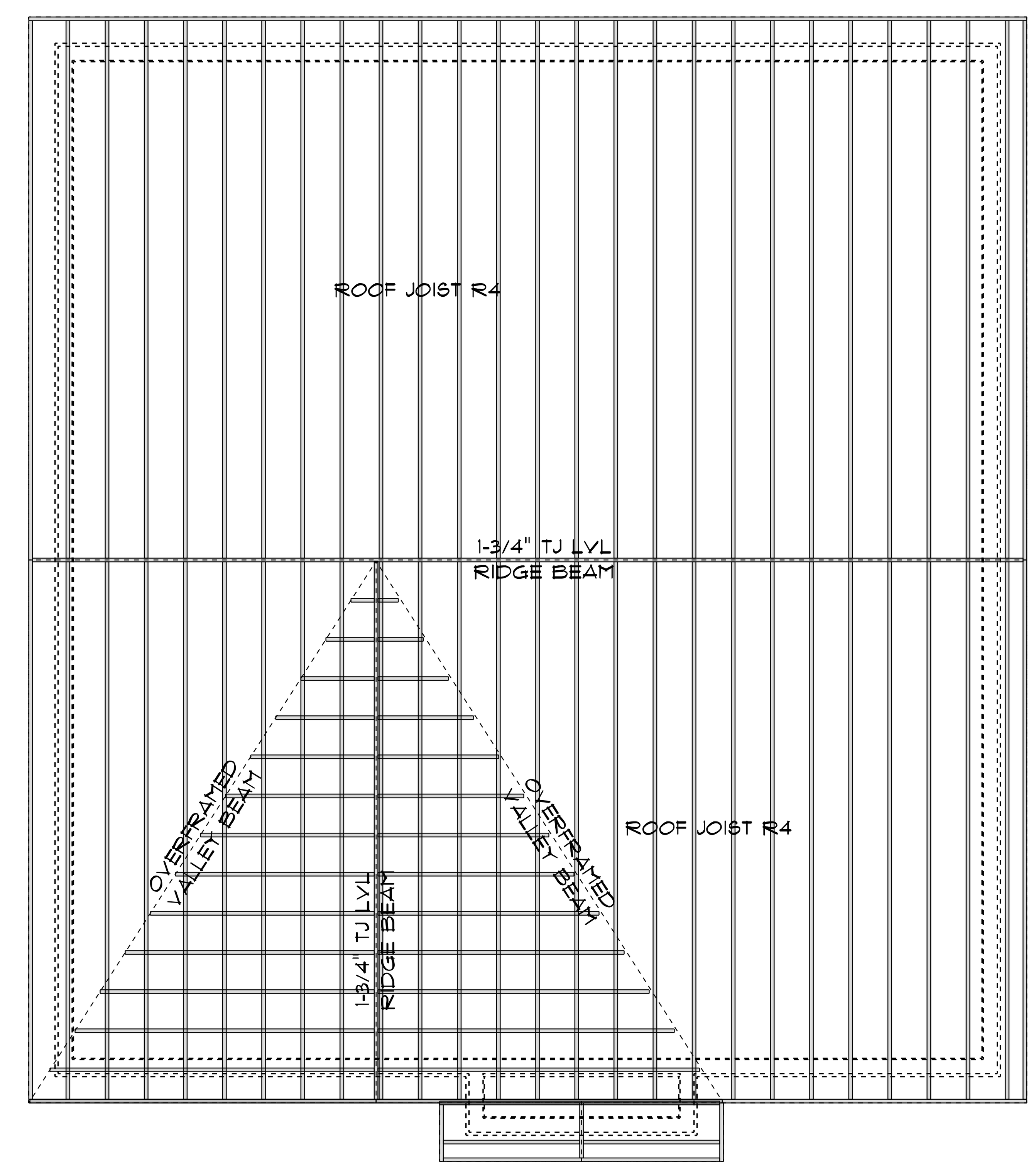


Approx. Ceiling Weight: 5 psf
Fire Test: FM FC 172, 2-25-72; ITS, 8-6-98
Sound Test: Estimated

GARAGE FIRE RATINGS

NOT TO SCALE

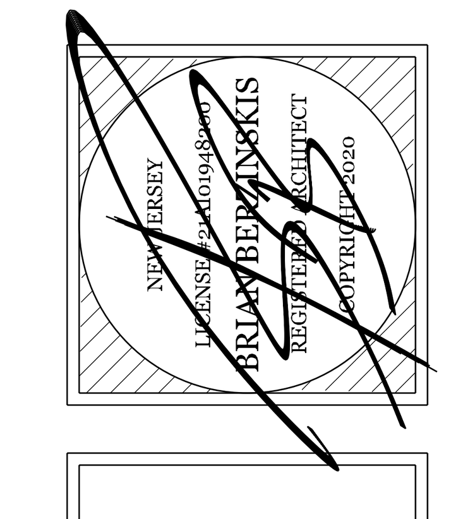
NOTE:
OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS.



CEILING FRAMING SCHEDULE	
FRAMING ID	DEPTH
Roof: Joist R4	1 piece(s) 2 x 12 Douglas Fir-Larch No. 2 @ 16" OC

PROPOSED ROOF FRAMING - CEILING

SCALE: 1/4" = 1'-0"



PROJECT FOR:
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Project Number
CN#019-11-022

DATE	BY
2/14/2020	BB

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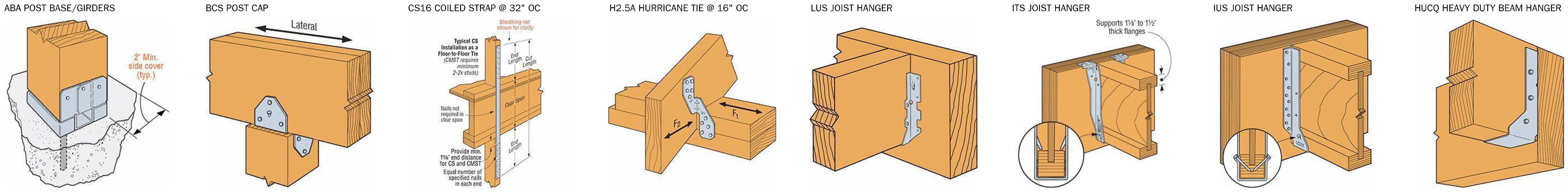
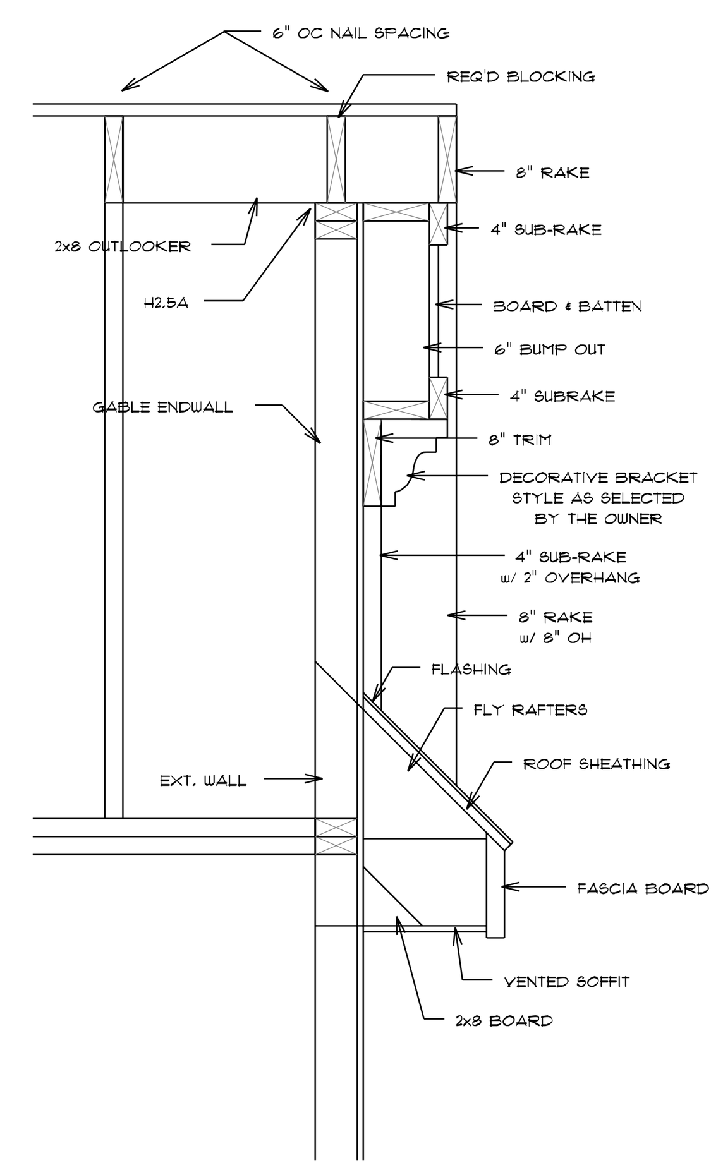


SIMPSON STRONG-TIE

NOT TO SCALE

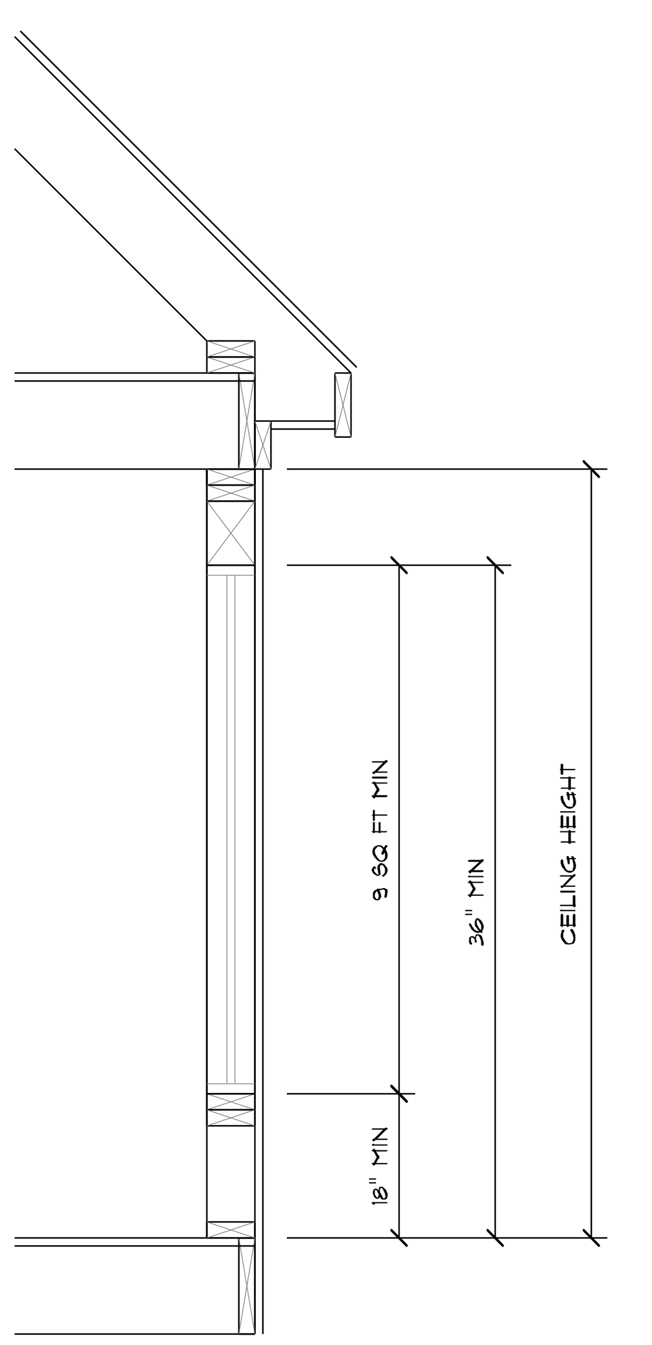


SKIRT ROOF SECTION

3/4" = 1'-0"

ELEVATION

SCALE: 1/4" = 1'-0"



R308.4.3 Glazing in windows. Glazing in an individual fixed or operable panel that meets all of the following conditions shall be considered to be a hazardous location:
1. The exposed area of an individual pane is larger than 9 square feet (0.836 m2),
2. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor,
3. The top edge of the glazing is more than 36 inches (914 mm) above the floor; and
4. One or more walking surfaces are within 36 inches (914 mm), measured horizontally and in a straight line, of the glazing.
R308.4.5 Glazing and wet surfaces. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and each pane in multiple glazing.
Exception: Glazing that is more than 60 inches (1524 mm), measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool or swimming pool or from the edge of a shower, sauna or steam room.
R308.4.6 Glazing adjacent to stairs and ramps. Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.
Exceptions:
1. Where a rail is installed on the accessible side(s) of the glazing 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 11/2 inches (38 mm).
2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface.
R308.4.7 Glazing adjacent to the bottom stair landing. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches (914 mm) above the landing and within a 60-inch (1524 mm) horizontal arc less than 180 degrees from the bottom tread nosing shall be considered to be a hazardous location.

TEMPERED WINDOW DETAIL

1/2" = 1'-0"

ELEVATION

SCALE: 1/4" = 1'-0"

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SHEET A-5
TOTAL 5